

Town of Lauderdale-By-The-Sea
Planning and Zoning Board

Agenda

Thursday February 16, 2023

6:00 PM



Jarvis Hall 4505 N. Ocean Drive 33308
www.Lauderdalebythesea-fl.gov

Planning and Zoning Board

Thursday, February 16, 2023, 6:00 PM

Jarvis Hall 4505 N. Ocean Drive 33308

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE TO THE FLAG

3. APPROVAL OF MINUTES

3.a. Minutes

[**Unapproved Minutes 8.22.2022.docx**](#)

4. PUBLIC COMMENTS

5. TOWN PLANNER REPORT

6. NEW BUSINESS

- 6.a.** Case Numbers 2022-CU-01, 2022-L2-SPM-02, 2022-FXU-01: IMCO BY C., LLC (The Applicant) Conditional Use Request to permit a Mixed-Use Development in the B-1 Zoning District, Site Plan Modification and a Flex Unit Allocation to create two second-floor dwelling units.

[**233 Commercial Blvd Staff Report \(CU L2-SPM and FXU\) 45U2893-JMC Revised2-9-23.pdf**](#)

[**Ex 1- Applications, Plans and Narrative.pdf**](#)

[**Ex 2 Mixed Use Requirements.pdf**](#)

[**Ex 3 Conditional Use Requirements.pdf**](#)

[**Ex 4 Flexibility rules.pdf**](#)

[**Ex 5 Parking Requirements.pdf**](#)

[**Ex 6 Off-Street Parking general.pdf**](#)

[**Ex 7 Citizen Participation Mtg Summary 11-28-22.pdf**](#)

[**Ex 8 Section 30-139 Notice requirements.pdf**](#)

[**Exhibit 9- Development Order and Approved Plans.pdf**](#)

7. OLD BUSINESS

8. UPDATES/BOARD MEMBER COMMENTS

9. ADJOURNMENT

THE TOWN OF LAUDERDALE-BY-THE-SEA WILL FURNISH APPROPRIATE AUXILIARY AIDS AND SERVICES NECESSARY TO AFFORD INDIVIDUALS AN EQUAL OPPORTUNITY TO PARTICIPATE IN MEETINGS OF THE TOWN COMMISSION. IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND FLORIDA STATUTE 286.26, PERSONS WITH DISABILITIES NEEDING SPECIAL ACCOMMODATION TO PARTICIPATE IN THIS PROCEEDING SHOULD CONTACT THE TOWN CLERK NO LATER THAN TWO (2) DAYS PRIOR TO THE MEETING AT (954) 640-4200 FOR ASSISTANCE.

IF ANY PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE TOWN COMMISSION WITH RESPECT TO ANY MATTER CONSIDERED AT SUCH MEETING OR HEARING, HE/SHE WILL NEED A RECORD OF THE PROCEEDINGS AND FOR SUCH PURPOSES MAY NEED TO ENSURE THAT A VERBATIM RECORDING OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

PROCEDURES FOR PUBLIC COMMENTS:

Public Comments may address issues that are not on this meeting's agenda, but should relate to the business of the Town, and should not contain personal attacks. If your comment requires follow up, the Town Manager will have a staff person

respond to your concerns, and will advise us of the outcome.

The Town Clerk will read off the names of those who have signed up to speak. When your name is called, please come to the podium, state your name for the record, and indicate whether you are a Town resident. Do not state your address. You have up to three minutes to make your comments, but there is no requirement to use the entire time. If you wish to address a particular Commissioner or member of Town Administration, please do so by use of their title.

If you wish to approach the Commission dais to hand out a document or for some other reason, please request permission and state your reason for doing so. All documents to be provided to the Commission should be handed to the Town Clerk for distribution.

These procedures have been developed to assure that the Town Commission meeting time is efficiently used, and that meetings are conducted in a polite and respectful manner. More information on the decorum rules for Town Commission meetings is available in Section 2-23 of the Town Code of Ordinances.

INVOCATION:

The Invocation before each Town Commission meeting is a voluntary service of a private citizen, offered to serve the spiritual needs of the members of the Town Commission and solemnize the meeting. It is not intended to be an opportunity to advance or disparage one faith or belief over another. The views expressed in the Invocation have not been previously reviewed by the Town and do not necessarily represent the beliefs of any Town employee or official. No person is required to be present at or participate in the Invocation, and the decision whether to be present or participate in the Invocation will not affect any person's right to actively participate in the official business of the Town or obtain any benefit from the Town. The Town's written Invocation policy is available on its website, and upon written request to the Town Clerk.

NON APPROVED

**TOWN OF LAUDERDALE-BY-THE SEA
PLANNING AND ZONING BOARD MEETING MINUTES
LIVE STREAMED FROM JARVIS HALL
*Monday, August 22, 2022***

1. CALL TO ORDER & PLEDGE OF ALLEGIANCE

Chair Piersante called the in-person Planning and Zoning (P&Z) Board meeting for the Town of Lauderdale-By-The-Sea (L-B-T-S) to order at approximately 6:04PM.

2. PLEDGE OF ALLEGIANCE TO THE FLAG

The Pledge of Allegiance was recited.

ROLL CALL & WELCOME

Board Clerk Megan Small called the roll and board members present in-person were Wayne Dillistin, Chair Ron Piersante, Vice Chair Howard Goldberg, 1st Alternate Denise Lambert and 2nd Alternate Karen Sylvester. The absentee board members were Brandy Whitford and Patricia Omana. Also present in person were Town Attorney James White, Development Services Director Jhanelle Campbell, and Board Clerk Megan Small.

3. APPROVAL OF MINUTES

a. Planning & Zoning (P&Z) Meeting Minutes – July 6, 2022

Vice Chair Goldberg made a motion to approve the minutes of the P&Z Meeting of July 6, 2022 as written. The motion was seconded by Board Member Sylvester. The motion to approve the July 6, 2022 minutes as read carried 5-0.

4. PUBLIC COMMENTS

Chair Piersante clarified the procedure for a board member making a motion. No board member should make a motion until the Chair called for a motion. He then opened the meeting to the public for any comments on items not on the agenda. When an agenda item was presented, public comments regarding that item would be called for at that time. As there were no public comments for items not on the agenda, the Chair closed this portion of Public Comments.

5. NEW BUSINESS

a. Case Number 2022-L2-AA-02: David and Debra Cohen (the Applicant) Level 2 Administrative Adjustment Request to allow encroachments into the front and rear setbacks.

Development Services Director (DSD) Campbell testified that this was a single-family home located at 4443 West Tradewinds Avenue which would be demolished and replaced by a new single-family home. The applicants' request was to allow encroachments into the front and rear setbacks. She explained about the new home's design in the RS-5 zoning district requiring two encroachments for architectural features. The requests were for a 10 inch encroachment of the required front setback of 25 feet and the other was for a 5 foot encroachment into the required rear setback of 25 feet. These requests meet the requirements for a Level 2 Administrative Adjustment and a majority of the criteria have been met. She went over all of the criteria and explained that staff sent the application to the Town's architect for review to ensure the design conformed to the Town's Mid-Century Modern standards. The only comment from the architect was the front encroachment was consistent with Mid-Century Modern but the encroachment into the rear setback should be reduced from five feet to three feet. She said staff was recommending that if the board recommended approval of this application, it would be with the condition that she read into the record to reduce the rear encroachment from five to three feet. She explained that this would go before the Town Commission on September 28, 2022. She called for board questions and reminded the board that the applicants, Mr. and Mrs. Cohen, were also here to answer any questions.

David Cohen introduced himself to the board stating that Ms. Campbell did an excellent job. He explained what they were asking for and said that they would like to go ahead with the design but had no problem reducing the rear encroachment from five feet to three feet. Vice Chair Goldberg complimented the design but asked if the architect knew what the zoning was before the home was designed. Mr. Cohen said that she brought it to their attention after the home was designed. The Vice Chair then asked Mr. Cohen if the request was changed from five feet to three feet, would it suffice and he was answered that it would. However, his wife preferred five feet and he did also. Mrs. Cohen came to the mic and said that the proposed home looked complete and beautiful the way it was designed. Board Member Dillistin said he liked the way the home was designed and thought going from five to three feet would make a difference. Mrs. Cohen agreed and said that the house next door to them was gigantic and their home would need the five feet. Board Member Dillistin then asked if the neighbors were okay with what the Cohens were doing and DSD Campbell answered that they sent out a public notice but did not get any correspondence for or against from any neighbors within 300 feet of the Cohen's home. Board Member Dillistin asked if the Town was okay with the five feet of encroachment before the Town's Architectural Consultant, Leo Hansen, wrote his comments and DSD Campbell said that she followed the architect's advice. Board Member Dillistin asked if they were allowed to recommend the five feet and she informed him that the board could recommend whatever they feel was correct. Board Member Sylvester asked if the Town's Architect approved the plan at all and DSD Campbell said he was fine with the front encroachment but spoke about a reduced rear encroachment. Board Member Sylvester wanted to know why the architect would recommend something outside of the RS-5 zoning district regulations and Ms. Campbell said it was the design that he commented about not the placement and his recommendation was to reduce the wall. Vice Chair Goldberg asked the Cohens if they were okay with the reduction and Mr. Cohen said they would agree to the reduction but would prefer staying at five feet. Chair Piersante asked the applicants about the

reduction and was told by Mr. Cohen they would agree to the three feet but would prefer five feet for the architectural feature on the wall. The encroachment was only for the wall and that did not add any more square footage to the house. DSD Campbell answered Board Member Dillistin that staff would support the decision of the Town Council. The Chair called for public comments on this agenda item but no one wished to comment and this section of public comments was closed.

Board discussion: Board Member Sylvester felt that the board should follow the RS-5 regulations as written. In other words, follow the regulations in place. The architect was commenting on the design and not on the zoning district's regulations. DSD Campbell explained that the front and rear setbacks were twenty-five feet each and they were asking for two architectural features in the front to encroach ten inches and one architectural feature in the back to encroach five feet and the architect commented the five feet should be three feet.

Vice Chair Goldberg made a motion to recommend approval to the Town Commission with a modification of reducing the applicant's request for a five foot encroachment to a three foot encroachment into the rear setback and remain with the ten inch encroachment into the front setback for agenda item (2022-L2-AA-02). The motion was seconded by Board Member Dillistin. The motion to recommend approval to the Town Commission with a modification carried 3-2 (Chair Piersante and Board Member Sylvester opposed).

- b. Case Number: 2022-SP-01: 4245 N Ocean, LLC (Applicant) Site Plan Approval Request for the development of a three-story 30-unit hotel (without kitchens).

Development Services Director (DSD) Campbell presented explaining that this property was currently the Dolphin Harbor Inn which consisted of three one-story buildings for a twenty-one unit hotel without kitchens. It was in the RM-25 zoning district. She explained that the previous owner applied for site plan approval in 2016 and in 2003. However, ownership has changed and both of the development orders have expired. This application was different as the applicant was asking to demolish the Dolphin Harbor Inn and to construct a new, three-story hotel with thirty units without kitchens. There was another hotel on the southern border of this property. She pointed out that on Ocean Drive, there was back out parking that would be removed with the new proposed development. The applicant indicated that all existing non-conformities would be terminated with this project. However, on the north side of the property, Datura Avenue, modifications to comply with parking setback requirements dictate maintaining an existing setback nonconformity but it would be somewhat reduced. She explained Town Code Section 30-138 (c) (1) d allowed the preservation of this nonconformity because prior to demolition, the property owner would submit and receive Town approval of a site plan depicting the replacement building. She showed the proposed site plan and said the plans were reviewed internally by staff and by the Town's consultants. She spoke about the requirements of the Code. The Future Land Use for the property was Medium High (25) Residential and the zoning was RM-25 (Apartments & Lodging). The proposed uses and density were consistent with the Future Land Use and zoning code. A citizen participation

meeting was held on June 13, 2022. There was one community comment regarding moving the dumpster and the applicant explained.

DSD Campbell spoke about parking, the requirement of one parking space per unit, types of parking spaces, bicycle spaces, and FDOT's requirements and as part of the review process, architectural review was completed. She discussed landscaping with the board and that Broward Sheriff's Office (BSO) reviewed for crime prevention and approved the plans. The plans were also reviewed by the Fire Marshal and also by the Town Engineer and comments were pending to be addressed. She said that staff was recommending approval of the site plans with six conditions that she read into the record. The Town Commission's review would be on September 28, 2022. DSD Campbell requested board questions and said that the applicant's architect, Teen Woon, and the property owner were both here this evening.

Teen Woon said that DSD Campbell did a terrific job. He just wanted to highlight some of the features of the proposed development, Sea Glass Beach Place, and gave a slide presentation. He explained existing conditions versus the new site plan. He showed the existing aerial view and street level view and the aerial view and street level view of what they would have once the project was completed. He called for questions. Vice Chair Goldberg said he was the Chairman of the Chamber of Commerce and complimented Mr. Woon on this project. The south side of Town needed something like what was being proposed tonight. They did a great job. He had three questions: (1) do the thirty parking spots include parking spots for staff? Mr. Woon said that thirty was required by code and that was what they provided. (2) originally, fifteen feet of setback was requested but would compromise at fourteen feet. Mr. Woon said that at the moment we have seven feet eight inches but when the layout was redesigned, if we went to thirteen feet, we could fit all the parking in and would have reduced the nonconformity. The Vice Chair said not only could the Town use a new hotel but this was a beautification project. (3) hotel was not operating for the last few years, was a vehicular traffic study done to see how it would affect the south side of the Town? Mr. Woon answered they did not do a traffic study because it was operating as a motel and the capacity should be similar. Chair Piersante said that since the traffic would not be backing out onto A1A, that would make a big difference. Mr. Woon said that this would make it more pedestrian friendly. The Chair said it was a beautiful project, a welcome addition. As there were no other questions, the Chair called for public comments but no one wished to speak on this matter. This portion of public comments was closed. Board Member Dillistin asked DSD Campbell if there were any comments/complaints from residents and she answered that there were none. She further answered Board Member Dillistin that zoning was RM-25. He pointed out that he did like walking on the continuous sidewalk. He said that this new project was beautiful. Discussion ensued for making a motion and the Town's Consultant clarified about the size of the setback in the corner of property.

Vice Chair Goldberg made a motion to recommend approval to the Town Commission to include staff's six conditions for agenda item (2022-SP-01). The motion was seconded by Board Member Lambert. The motion to recommend approval to the Town Commission with staff's six conditions carried 5-0.

Chair Piersante wanted to make a few comments before presenting the next item. At the last meeting, a gentleman wanted to put air conditioning units and generators on the roof of the two duplexes he was constructing. The board discussed it and all five board members at the last meeting chose to ignore staff's recommendation. The board members voted to approve it. He believed that this was one time that the board should have agreed with staff. The Chair received some comments, as the Chair of the Board, that were not favorable. When this came in front of the Town Commission, they voted 5-0 to reject the request. They further asked staff for a review regarding changing the code to allow this. Staff did a survey with other municipalities and we have before us an ordinance regarding this. At that Commission Meeting, one of the commissioners made a comment that was not complimentary regarding the Planning and Zoning Board at their July meeting recommending approval of the agenda item allowing equipment on the roof. The Chair will now present the next item on the agenda.

- c. An Ordinance of the Town of Lauderdale-By-The Sea, Florida Amending Chapter 30 Unified Land Development Regulations, Article V Zoning, Section 30-313 General Provisions to modify regulations related to rooftop placement of equipment on any property; providing for codification, severability, conflicts, and for an effective date.

Development Services Director (DSD) Campbell testified that at the July 26, 2022 Town Commission Meeting, staff was directed to review potential changes to the code regarding placement of equipment on rooftops on any property. Staff discovered that many municipalities allowed placement of mechanical equipment on rooftops. Currently, L-B-T-S prohibited plumbing and mechanical equipment and generators to be placed on the roof of any property. DSD Campbell said that the code changes proposed were before the board members and in back up. The recommendation of staff was to allow rooftop placement of plumbing and mechanical equipment and generators on any rooftop and for the Planning and Zoning Board to recommend approval of this ordinance (2022-08) to the Town Commission. The Chair called for board questions but there were none. The Chair called for public comment but no one from the public wished to speak on this matter and this portion of public comment was closed.

Board Member Lambert asked for an explanation of this agenda item as she was not in attendance at the July 6, 2022 P&Z Meeting. She was told the background thoughts as to why this had board approval. Board Member Dillistin felt that the board did the right thing given the circumstances; e.g., there was an overlay district. Also, it led to an ordinance being fast-tracked for rooftop placement of plumbing and mechanical equipment and generators.

Board Member Dillistin made a motion to recommend approval to the Town Commission of Ordinance 2022-08 (plumbing and mechanical equipment and generators on rooftops on any property). The motion was seconded by Vice Chair Goldberg. The motion to recommend approval of Ordinance 2022-08 to the Town Commission carried 5-0.

6. OLD BUSINESS

None

7. UPDATES/BOARD MEMBER COMMENTS

Board Member Sylvester spoke about tonight's board decision for giving an allowance outside of code for the proposed new home as there was direction given to follow code. DSD Campbell asked if she meant tonight's administrative adjustment. She did and wanted to know the board's guidelines when the agenda item was asking for something outside of code. Vice Chair Goldberg said that he tried to go with the Town's recommendation. Town Attorney White explained that if an applicant was requesting something within the scope of a variance and they met the variance criteria, it could be granted. DSD Campbell explained administrative adjustment and its criteria. Requests like these where criteria were met, could be granted. Board Member Dillistin opined that what happened at the last P&Z Meeting manifested into staff being given the directive of looking into placement of rooftop plumbing and mechanical equipment and generators on rooftops on any property and that was a good thing.

8. ADJOURNMENT

Board Member Lambert made a motion to adjourn at approximately 7:09PM. The motion was seconded by Vice Chair Goldberg. The motion to adjourn carried 5-0.

Chair Ron Piersante

ATTEST:

Date Accepted: _____



Town of Lauderdale-by-the-Sea

Development Services Department

To: Planning and Zoning Board (the "Board")

From: Jhanelle Campbell, Assistant Development Services Director

Date: February 16, 2023

Project: Site Plan Modification (2022-L2-SPM-02), Conditional Use (2022-CU-01), and Flex Unit Allocation (2022-FXU-01) requests for the proposed mixed-use development, including two second-floor dwelling units within the B-1 Zoning District for property located at 233 E Commercial Boulevard.



Figure 1. Subject Property

Purpose

The purpose of this memorandum is to provide Staff's findings and recommendations regarding the Site Plan Modification, Conditional Use, and Flex Unit applications (**Exhibit 1**), submitted to the Town of Lauderdale-By-The-Sea, Florida (the "Town") to permit a mixed-use development, including two (2) residential dwelling units to be located at 233 East Commercial Boulevard (the "Property") (**Figure 1**). The Property has a Commercial Land Use designation and is zoned B-1 - Business. If approved, the Town will need to process a request to allocate two (2) flexibility units with Broward County.

To consider the request, the following Town Code of Ordinances ("Town Code") provisions were reviewed:

- Section 30-271(i)(3) "Mixed Use Requirements";
- Section 30-126 "Conditional Use Requirements";
- Section 30-100 "Flexibility Rules"; and
- Article IV, Division 2 "Site Plan Procedures and Requirements" concerning the Level 2 Site Plan Amendment.

Permits have recently been filed for proposed changes to the second-floor façade. Moreover, the second-floor windows fronting E Commercial Boulevard have been removed. The permits for the work on the windows are separate from the approvals being requested through these applications.

Background

The Property is a developed parcel of land located within the B-1 zoning district. The existing two (2) story structure was originally constructed in the mid-1960's. The first floor includes two (2) commercial spaces that have been occupied by a variety of uses over the years. Currently, the first-floor houses a sandwich shop on the east side and a real estate office on the west side. At the time of purchase by the Applicant, the second-floor housed an office space and an existing two (2) bedroom residential unit in the rear that was created without permits. An outdoor parking area behind the building has five (5) parking spaces.

Request

IMCO BY C., LLC, (the "Applicant") is proposing to convert the second-floor office space and unpermitted dwelling units into two (2) permit complying dwelling units. The Applicant's proposal will result in a two (2) bedroom unit and a three (3) bedroom unit located on the second-floor. An application of this type requires review of the conversion to mixed use and site plan modification. Review of the site plan modification is primarily to review parking, since there are no other changes being made to the Property.

Town Code Provisions

Conditional Use Application

Sections 30-271 and 30-126 of the Town Code establish the criteria necessary to meet the requirements of mixed-use development.

Mixed Use Development (Section 30-271)

Pursuant to Section 30-271(i)(3) of the Town Code, a vertical mix of neighborhood-serving B-1 uses and residential uses are permitted within the same building, in locations fronting on Commercial Boulevard and west of State Road A1A. Further, it allows conditional use development in B-1 zoned property when the property has a commercial land use designation, provided certain criteria are met. Staff has determined that the application meets the requirements of the Town Code (**Exhibit 2**).

Conditional Use (Section 30-126)

Pursuant to Section 30-126 of the Town Code, the requisite criteria for conditional use approval are listed below, with Staff's analysis and findings regarding the application in italics (**Exhibit 3**).

1. **Land Use Compatibility.** The conditional use, including its proposed scale and intensity, traffic generating characteristics, and off-site impacts shall be compatible and harmonious with adjacent land uses and shall not adversely impact land use activities and residential areas in the immediate vicinity. For purposes of a conditional use review, compatibility is defined as a condition in which land uses or conditions can coexist in relative proximity to each other in a stable fashion over time such that no use or condition is unduly negatively impacted directly or indirectly by another use or condition. Compatibility of land uses is dependent on numerous development characteristics, which may impact adjacent or surrounding uses. They include: type of use, density, intensity, height, general appearance and aesthetics, odors, noise, smoke, vibration, traffic generation and nuisances. The Town Manager shall recommend whether the conditional use is compatible. Compatibility shall be measured based on all of the following characteristics of the proposed use or development in relationship to surrounding development in the immediate area:

Applicant Response: Our property is located on 233 E Commercial Blvd, next to an area full of action where numerous people yearly either spend their vacation or look to move permanently. Due to this potential and since other buildings around the area already have mixed use, our proposal is to convert the property from a solely commercial use to a mixed use. Most specifically, the building consists of the ground floor where two successful business are operating (Laspadas Hoagies and realty office, By the Sea Vacation Villas) and the second floor which currently consists of two empty units. We intend to make two residential units above the commercial units.

- i. Permitted uses, structures and activities allowed within the land use category;

Applicant Response: The proposed use would be compatible with the existing and future land uses in the vicinity. Numerous buildings around the area and even in the specific plaza accommodate commercial uses on the ground floor and residential units above.

- ii. Building location, dimensions, height, and floor area ratio;

Applicant Response: According to section 3- 271 (B-1 zoning district), since the building is located within 250 feet of Commercial Blvd it is eligible for the proposed use. Additionally, the residential floor area of the mixed use area will not exceed the 50 percent of the gross floor area of the building, exactly half of the building will be turned into residential use. The height of the building of course remains as is.

- iii. Location and extent of parking, access drives and service areas;

Applicant Response: In terms of the parking requirements, the minimum of one parking space per residential unit is provided on site. The other two parking spaces which are required have been credited to us by the Town through the prior use of the second floor.

- iv. Traffic generation, hours of operation, noise levels and outdoor lighting;

Applicant Response: The use will not have an adverse effect on the noise levels and outdoor lighting. In terms of the traffic generation, it would be less than the current commercial use.

- v. Alteration of light and air;

Applicant Response: The use will not have an adverse effect on light and air.

- vi. Setbacks and buffers such as fences, walls, landscaping and open space treatment;

Applicant Response: The use will not include any new setbacks and buffers such as fences, walls landscaping and open space.

- vii. The architectural and site design are compatible with the character of the surrounding area; and

Applicant Response: The use will not have an adverse effect on the character of the surrounding area. Driven by the statement of LBTS- ADS which specifies that "Building façade should maintain the integrity of the original design and style" the permit for the replacement of the windows has been made in accordance to Town's design standards, in order to maintain the Mid- Century Modern (MCM) character of the town.

- viii. Any existing or proposed signs or lighting will not adversely affect surrounding areas or vehicular traffic.

Applicant Response: The proposed use will not have any additional signs or lighting that will have an adverse effect on the surrounding areas or vehicular traffic.

Staff Finding: *The Applicant has demonstrated that the proposed conditional use, including its scale, intensity, traffic generating characteristics, and off-site impacts are compatible and harmonious with adjacent land uses.*

2. **Sufficient Site Size, Site Specifications, and Infrastructure to Accommodate the Proposed Use.** The size and shape of the site, the proposed access and internal circulation, and the urban design must be adequate to accommodate the proposed scale and intensity of the conditional use requested. The site shall be of sufficient size to provide adequate screening, buffers, landscaping, open space, off-street parking, efficient internal traffic circulation, infrastructure and similar site plan improvements needed to mitigate against potential adverse impacts of the proposed use.

Applicant Response: There is sufficient site size, and infrastructure to accommodate the proposed use. No changes will be made on the exterior of the building. In the interior the two units are carefully designed to provide enough space to the future tenants/ guests.

Staff Finding: *There is sufficient site size, site specifications and infrastructure to accommodate the proposed use.*

3. **Compliance with the Comprehensive Plan and Code of Ordinances.** The conditional use shall comply with environmental, zoning, concurrency and other applicable regulations of this Code of Ordinances and shall be consistent with the Comprehensive Plan.

Applicant Response: The conditional use will comply with environmental, zoning, concurrency and other applicable regulations of this Code of Ordinances and will be consistent with the Comprehensive Plan.

Staff Finding: *The conditional use complies with the applicable regulations of the Town's Unified Land Development Regulations and is consistent with the Town's Comprehensive Plan.*

4. **Proper Use of Mitigative Techniques.** The conditional use and site plan shall incorporate mitigative techniques needed to prevent adverse impacts to adjacent land uses. In addition, the design scheme shall appropriately address off-site impacts to ensure that land use activities in the immediate vicinity, including community infrastructure, are not burdened with adverse impacts detrimental to the general public health, safety and welfare.

Applicant Response: Granting the permit would not constitute a nuisance or be injurious or detrimental to the public interest, health safety, convenience or welfare or materially injurious to persons, property, or improvements in the vicinity and zoning district in which the property is located.

Staff Finding: *The conditional use application requires no mitigative techniques and therefore the application meets this requirement.*

Site Plan Amendment Application

Section 30-318 of the Town Code (**Exhibit 5**), which outlines the requirements for parking, is also applicable to the request. The Code allows the Development Services Director to waive many application requirements necessary for the evaluation of the conditional use application. The traffic study was waived as the Staff determined the conversion of two office spaces into two (2) residential dwelling units would have no significant traffic impact on the Property. A survey, floor plan, and site plan were submitted as part of the application. No exterior changes are being proposed to the existing building. The parking requirements are outlined below.

Parking Requirements

The request to convert the second-floor office space into two (2) residential spaces impacts the parking requirements for the site. Pursuant to Sections 30-318(b) and 30-314 of the Town Code, office uses are required to provide one (1) parking space per every 250 square feet (**Exhibits 5 & 6**). Multiple family dwellings require one and one-half (1 ½) parking spaces for each dwelling unit with less than three (3) bedrooms, plus one (1) guest space for every five (5) units. The minimum required number of parking spaces for the Property with the existing commercial use and the proposed residential use is shown in **Table 1** below. The "Spaces Credited" column refers to parking spaces that were credited to properties when Commercial Boulevard was redesigned to create the current plazas, and the parking spaces previously available to individual properties were converted into common parking areas.

Table 1

Area	Required Spaces	Physical Spaces*	Spaces Credited	Spaces Exempted
Laspada (1 st Fl E)	10	2	6	2
Vacant (1 st Fl W)	5	1	4	0
Unit 1 (2 nd Fl Front)	2	1	1	0
Unit 2 (2 nd Fl Rear)	2	1	1	0

*The parking for the Property is composed of a combination of physical spaces behind the building, spaces credited to each portion of the building at the time the plazas were created on Commercial Boulevard, and exempted spaces that were received by Laspada's in 2013 through parking exemption application.

Allocation of Flexibility Units

Flexibility units are the difference between the number of dwelling units permitted within a flexibility zone by the Broward County Future Land Use Plan and the lesser number of dwelling units permitted by the Town's certified Future Land Use Plan.

Pursuant Section 30-100 of the Town Code, the assignment of flexibility units is subject to meeting the provisions and requirements of the Broward County Land Use Plan, as incorporated into the Town's certified land use plan. The Flexibility Rules allow the Town to approve the location of residential units on properties designated for Commercial Land Use, so long as the Town determines that a sufficient number of flexibility units are available to be assigned to the Property, and the rules and restrictions regarding the allocation of flexibility units, as established by the Broward County Land Use Plan, are met.

Flexibility Zone ("Flex Zone") boundaries are established by the Broward County Land Use Plan. There are two Flex Zones that encompass the Town - Flex Zone 24 and Flex Zone 39. The Property is located within Flex Zone 39.

In order to allocate flexibility units, the Town must first determine whether there are available flexibility units in the Flex Zone. The Town maintains a log of the number of available flexibility units and provides an annual status report to the County. Currently, there are 278 Flexibility Units available for allocation within Flex Zone 39. Therefore, the request for two (2) flexibility units may be granted by the Town Commission.

Additionally, the Town can only allocate flexibility units by an official action as established in the Town's Unified Land Development Regulations and subject to compliance with the provisions for mixed use development as contained therein. The flex unit may be allocated as part of the Commission's approval of the conditional use and site plan amendment application.

Citizen Participation Meeting

On November 28, 2022, the Applicant conducted a Citizen Participation meeting in accordance with Section 30-114 of the Town Code and provided the Town with a summary of the meeting (**Exhibit 7**).

Discussion

Recommendation and Conditions

Notification was posted on the Property, the Town's website, and mailed to affected parties within 300 feet as required by Section 30-139(d) of the Town Code (**Exhibit 8**). The Town has not received any responses from the public in favor or in opposition to the proposed project.

The Department has reviewed the applications submitted in association with this request and has found that the request to permit a mixed use development on the Property is in compliance with the:

- a. Broward County Flexibility Rules, as provided in the Broward County Land Use Plan and Town of Lauderdale-By-the-Sea certified adopted Comprehensive Plan; and
- b. Chapter 30, "Unified Land Development Regulations" of the Town Code of Ordinances.

The Department recommends approval of the:

- a. Conditional Use Application to permit a mixed use development on the Property, per Section 30-271 "B-1 Business Zoning District"; and Section 30-126 "Conditional Use"; and
- b. Level 2 Site Plan Modification Application for review of compliance with parking requirements for the Property per Section 30-318 "Minimum Parking Requirements"; Section 30-114 "Off-street Parking; General Requirements"; and the requirements for a Site Plan Amendment as provided in Chapter 30 Unified Land Development Regulations; and
- c. Flex Unit Allocation Application to permit residential units on the Property, per Section 30-100 "Allocation of Flexibility Units".

The Department recommend the following conditions:

1. The Applicant shall secure a building permit, as defined in Section 30-121(e) of the Town Code for the project within twelve (12) months of the date of the development order approval and a certificate of occupancy for all structures within eighteen (18) months of obtaining the building permit. An extension to the deadline for completion of construction and compliance with the site plan development order may be granted by the Special Magistrate pursuant to the requirements of Section 6-12 of the Town Code.

2. All construction shall be in accordance with the plans, incorporated into the approved Development Order (**Exhibit 9**), which are listed in this report and in accordance with all modifications and conditions approved by the Town Commission. If changes occur as part of the building permit and/or architectural review process, the Applicant will be required to provide this information to Development Services Staff to determine if a modification of the Site Plan approval is required.
3. Prior to issuance of a building permit, the Finance Director shall certify that there are no outstanding fines, moneys, fees, taxes or other charges owed to the Town by the current or past owners or operators of the property in which the building permit is being issued. If fees are related to a code violation that requires a building permit to correct the violation, only the building permits required by the Town for correction of the violation may be issued. No other building permits will be issued until all outstanding debts to the Town are paid in full.
4. The approved site plan does not in any way create a right on the part of the Applicant to obtain a permit from a state or federal agency and does not create liability on the part of the Town for issuance of the approval if the Applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes action that result in a violation of federal or state law.
5. All applicable state and federal permits shall be obtained before commencement of construction.

Recommendation: Staff recommends that the Board vote to recommend the Town Commission's approval of the request for site plan modification, conditional use, and flex unit allocation.

Exhibits:

1. Applications and plans
 - a. Conditional Use Application
 - b. Site Plan Modification Application
 - c. Flex Unit Allocation
 - d. Plans and narrative
2. Section 30-271 - Mixed use requirements
3. Section 30-126 - Conditional use requirements
4. Section 30-100 - Flexibility rules
5. Section 30-318 - Parking requirements
6. Section 30-314 - Off street parking; general requirements
7. Citizen Participation Meeting summary
8. Section 30-139 - Public notice requirements
9. Development Order

Exhibit 1

LAUDERDALE•BY•THE•SEA

Universal Development Application



233 Commercial Boulevard
Conditional Use – Mixed Use

4501 N. OCEAN DRIVE, LAUDERDALE-BY-THE-SEA, FL 33308
(954)-640-4210
ZONING@LBTS-FL.GOV
M-F 8:30-4:30 PM

Administrative Purpose

Application Number: 2022 - CU - 01

BTR #: _____

Date Application Submitted: 10/9/22

Date Application found Completed: _____

Pre-Application Meeting Date: _____

Non-Refundable Application Fee: _____

Cost Recovery Fee: _____

In accordance with Section 30.111-30.113 of the Town's Unified Land Development Regulations: Development applications are required to be provided before any development permit is issued. Please refer to the Town's website to obtain a copy of the corresponding Application Checklist and Fee Schedule.

Check appropriate application and block:

- | | |
|---|---|
| ☐ Appeal of Administrative Decision | ☐ Historic Designation |
| ☐ Site Plan | ☐ Certificate of Appropriateness |
| ☐ Site Plan Level 1 Modification | ☐ Zoning Relief |
| ☐ Site Plan Level 2 Modification | ☐ Rezoning |
| ☒ Conditional Use - Mixed Use | ☐ Right-of-Way Vacation |
| ☐ Conditional Use Modification _____ | ☐ Comprehensive Plan Amendment |
| ☐ Administrative Adjustment _____ | ☐ Payment in Lieu of Parking |
| ☐ Variance _____ | ☐ Parking Reduction _____ |
| ☐ Plat _____ | ☐ Other: _____ |
| ☐ Architectural Review _____ | |

Project Name: 233 E. COMMERCIAL BLVD.

Folio Numbers: 4943-18-07-0420

Street Address: 233 E. COMMERCIAL BLVD., LBTS FL. 33308

Legal Description: SILVER SHORES, SEC LBTS, UNIT B L2, 31-31B. B-K.

Name of Property Owner: IMCO BY C., LLC Property Owner's Phone #: 561-480-1397

Address of Property Owner: P.O. BOX 2152, WEST PALM BCH., FL. 33402

Property Owner's Email Address: m.karachalia@gmail.com

Name of Applicant: CHARLES WEIDNER Applicant's Phone #: 954 274-3810

Applicant's Address: 801 S. OCEAN DR. #201, HOLLYWOOD. FL 33019

Applicant Email Address: CWEIDNER321@AOL.COM

Name of Agent (e.g. Contractor Representing the Project): ELEGANT HOMES & DESIGN, INC.

Agent's Email Address: DAYMAKER 99 @ BELLSOUTH.NET Agent's Phone #: 954 914-0789

Agent's Address: P.O. BOX 8472, CORAL SPRINGS FL. 33060

Land Use Plan Designation: BUSINESS Zoning District: B-1, GENERAL BUSINESS DIST.

Existing Use of the Subject Property: MIXED STORE-OFFICE & RESIDENTIAL

Proposed Use of the Subject Property: MIXED STORE-OFFICE & RESIDENTIAL.

APPROVAL OF WAIVER OF TIME ALLOWED TO REVIEW APPLICATION

I _____ (Applicant/ Property Owner) hereby waive my rights as to the required review time stated in House Bill 7103 as it relates to time limits to review applications for approval of a development permit or development order.

Print Name of Property Owner: _____ Date: _____

Signature of Property Owner: _____

DEVELOPMENT APPLICATION SIGNATURE SECTION

Property Owner

Print Name of Property Owner: IMCO BY C LLC / Ioannis Karachelias Date: 3/19/22

Signature of Property Owner: [Signature]

State of Florida:

County:

SWORN AND SUBSCRIBED before me by means of ☒ physical presence or ☐ online notarization, this day

19 of March, 20 22.

The person signing is ☐ personally known to me or has ☒ produced identification

Print Notary Name: Yuleys Jimenez Lopez My Commission Expires: October 26, 2025

Notary Signature: [Signature]



YULEYSI JIMENEZ LOPEZ
Commission # HH 191107
Expires October 26, 2025
Bonded Thru Budget Notary Services

Applicant

Print Name of Property Owner: _____ Date: _____

Signature of Property Owner: _____

State of Florida:

County:

5/28/2020

Universal Application



SWORN AND SUBSCRIBED before me by means of physical presence or online notarization, this day
_____ of _____, 20_____.

The person signing is ☐ personally known to me or has ☐ produced identification

Print Notary Name: _____ My Commission Expires: _____

Notary Signature: _____



LAUDERDALE-BY-THE-SEA

Universal Development Application



233 Commercial Boulevard
Site Plan Modification - Level 2

4501 N. OCEAN DRIVE, LAUDERDALE-BY-THE-SEA, FL 33308
(954)-640-4210
ZONING@LBTS-FL.GOV
M-F 8:30-4:30 PM

Administrative Purpose

Application Number: 2022-L2-SPM-02

BTR #: _____

Date Application Submitted: 10/9/22

Date Application found Completed: _____

Pre-Application Meeting Date: _____

Non-Refundable Application Fee: _____

Cost Recovery Fee: _____

In accordance with Section 30.111-30.113 of the Town's Unified Land Development Regulations: Development applications are required to be provided before any development permit is issued. Please refer to the Town's website to obtain a copy of the corresponding Application Checklist and Fee Schedule.

Check appropriate application and block:

- | | |
|--|---|
| ☐ Appeal of Administrative Decision | ☐ Historic Designation |
| ☐ Site Plan | ☐ Certificate of Appropriateness |
| ☐ Site Plan Level 1 Modification | ☐ Zoning Relief |
| ☒ Site Plan Level 2 Modification | ☐ Rezoning |
| ☒ Conditional Use - Mixed Use | ☐ Right-of-Way Vacation |
| ☐ Conditional Use Modification _____ | ☐ Comprehensive Plan Amendment |
| ☐ Administrative Adjustment _____ | ☐ Payment in Lieu of Parking |
| ☐ Variance _____ | ☐ Parking Reduction _____ |
| ☐ Plat _____ | ☐ Other: _____ |
| ☐ Architectural Review _____ | |

Project Name: 233 E. COMMERCIAL BLVD.

Folio Numbers: 4943-18-D7-0420

Street Address: 233 E. COMMERCIAL BLVD., LOTS FL. 33308

Legal Description: SILVER SHORES, SEC. LOTS. UNIT B L2, 31-31B. B-K.

Name of Property Owner: IMCO BY C., LLC. Property Owner's Phone #: 561-480-1397

Address of Property Owner: P.O. BOX 2152, WEST PALM BCH., FL. 33402

Property Owner's Email Address: m.karachalia@gmail.com

Name of Applicant: CHARLES WEIDNER Applicant's Phone #: 954-274-3810

Applicant's Address: 801 S. OCEAN DR. #201 HOLLYWOOD FL. 33019

Applicant Email Address: CWEIDNER321@AOL.COM

Name of Agent (e.g. Contractor Representing the Project): ELEGANT HOMES & DESIGNS, INC.

Agent's Email Address: DAYMAKER99@BELLSOUTH.NET Agent's Phone #: 954-914-0789

Agent's Address: P.O. BOX 8472, CORAL SPRINGS FL. 33060

Land Use Plan Designation: BUSINESS Zoning District: B-1, GENERAL BUSINESS DIST.

Existing Use of the Subject Property: MIXED STORC-OFFICE & RESIDENTIAL

Proposed Use of the Subject Property: MIXED STORC-OFFICE & RESIDENTIAL

APPROVAL OF WAIVER OF TIME ALLOWED TO REVIEW APPLICATION

I _____ (Applicant/ Property Owner) hereby waive my rights as to the required review time stated in House Bill 7103 as it relates to time limits to review applications for approval of a development permit or development order.

Print Name of Property Owner: _____ Date: _____

Signature of Property Owner: _____

DEVELOPMENT APPLICATION SIGNATURE SECTION

Property Owner

Print Name of Property Owner: INCO BY C LLC
IRANIS KARACHALLAS Date: 3/19/22

Signature of Property Owner: [Signature]

State of Florida:

County:

SWORN AND SUBSCRIBED before me by means of ☒ physical presence or ☐ online notarization, this day 19 of March, 2022.

The person signing is ☐ personally known to me or has ☒ produced identification FLIDL

Print Notary Name: Yuleysi Jimenez Lopez My Commission Expires: October 26, 2025

Notary Signature: [Signature]



YULEYSI JIMENEZ LOPEZ
Commission # HH 191107
Expires October 26, 2025
Bonded Thru Budget Notary Services

Print Name of Property Owner: _____ Date: _____

Signature of Property Owner: _____

State of Florida:

County:



SWORN AND SUBSCRIBED before me by means of _____ physical presence or _____ online notarization, this day
_____ of _____, 20_____.

The person signing is ☐ personally known to me or has ☐ produced identification

Print Notary Name: _____ My Commission Expires: _____

Notary Signature: _____



LAUDERDALE•BY•THE•SEA

Universal Development Application



233 Commercial Boulevard
Flex Units (2)

4501 N. OCEAN DRIVE, LAUDERDALE-BY-THE-SEA, FL 33308
(954)-640-4210
ZONING@LBTS-FL.GOV
M-F 8:30-4:30 PM

Administrative Purpose

Application Number: 2022-FXU-01
BTR #: _____
Date Application Submitted: 10/9/22
Date Application found Completed: _____
Pre-Application Meeting Date: _____
Non-Refundable Application Fee: _____
Cost Recovery Fee: _____

In accordance with Section 30.111-30.113 of the Town's Unified Land Development Regulations: Development applications are required to be provided before any development permit is issued. Please refer to the Town's website to obtain a copy of the corresponding Application Checklist and Fee Schedule.

Check appropriate application and block:

- | | |
|---|--|
| ☐ Appeal of Administrative Decision | ☐ Historic Designation |
| ☐ Site Plan | ☐ Certificate of Appropriateness |
| ☐ Site Plan Level 1 Modification | ☐ Zoning Relief |
| ☐ Site Plan Level 2 Modification | ☐ Rezoning |
| ☐ Conditional Use - Mixed Use | ☐ Right-of-Way Vacation |
| ☐ Conditional Use Modification _____ | ☐ Comprehensive Plan Amendment |
| ☐ Administrative Adjustment _____ | ☐ Payment in Lieu of Parking |
| ☐ Variance _____ | ☐ Parking Reduction _____ |
| ☐ Plat _____ | ☒ Other: <u>Flex Unit Allocation (2)</u> |
| ☐ Architectural Review _____ | |

Project Name: 233 E. COMMERCIAL BLVD.

Folio Numbers: 4943-18-07-0420

Street Address: 233 E. COMMERCIAL BLVD., LBTS., FL. 33308

Legal Description: SILVER SHORES, SEC. LBTS, UNIT B L2, 31-31B., B-K.

Name of Property Owner: IMCO BY C., LLC. Property Owner's Phone #: 561-480-1397

Address of Property Owner: P.O. BOX 2152, WEST PALM BCH., FL. 33402

Property Owner's Email Address: m.karachalia@gmail.com

Name of Applicant: CHARLES WEIDNER Applicant's Phone #: 954-274-3810

Applicant's Address: 801 S. OCEAN DR. #201, HOLLYWOOD, FL 33019

Applicant Email Address: CWEIDNER321@AOL.COM

Name of Agent (e.g. Contractor Representing the Project): ELEGANT HOMES & DESIGNS, INC.

Agent's Email Address: DAYMAKER99@BELLSOUTH.NET Agent's Phone #: 954-914-0789

Agent's Address: P.O. BOX 8472, CORAL SPRINGS, FL. 33060

Land Use Plan Designation: BUSINESS Zoning District: B-1, GENERAL BUSINESS DIST.

Existing Use of the Subject Property: MIXED STORE-OFFICE & RESIDENTIAL.

Proposed Use of the Subject Property: MIXED STORE-OFFICE & RESIDENTIAL.

APPROVAL OF WAIVER OF TIME ALLOWED TO REVIEW APPLICATION

I _____ (Applicant/ Property Owner) hereby waive my rights as to the required review time stated in House Bill 7103 as it relates to time limits to review applications for approval of a development permit or development order.

Print Name of Property Owner: _____ Date: _____

Signature of Property Owner: _____

DEVELOPMENT APPLICATION SIGNATURE SECTION

Property Owner

Print Name of Property Owner: 1MCO. BY. C. LLC
IOANNIS KARACHALIAS Date: 3/19/22

Signature of Property Owner: [Signature]

State of Florida:

County:

SWORN AND SUBSCRIBED before me by means of ☒ physical presence or ☐ online notarization, this day

19 of MARCH, 2022

The person signing is ☐ personally known to me or has ☒ produced identification FLIDL

Print Notary Name: Yuleysi Jimenez Lopez My Commission Expires: OCTOBER 26, 2025

Notary Signature: [Signature]



Applicant

Print Name of Property Owner: _____ Date: _____

Signature of Property Owner: _____

State of Florida:

County:



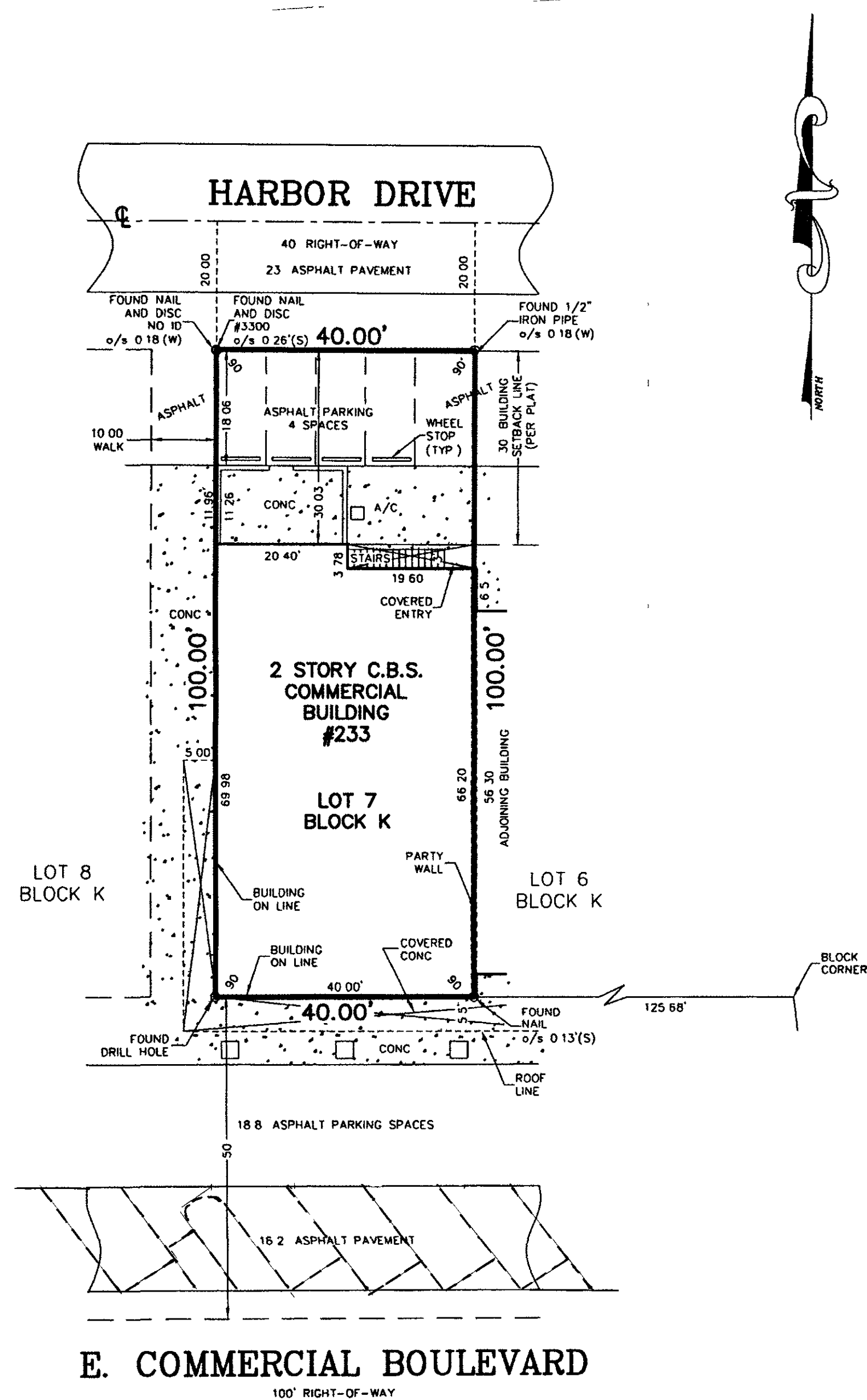
SWORN AND SUBSCRIBED before me by means of _____ physical presence or _____ online notarization, this day
_____ of _____, 20_____.

The person signing is ☐ personally known to me or has ☐ produced identification

Print Notary Name: _____ My Commission Expires: _____

Notary Signature: _____





SITE CALCULATIONS	
TOTAL BUILDING AREA	= 2,799.20 S.F. PER FLR
TOTAL BUILDING HEIGHT	= 24'-0" ABOVE GRADE
1st FLOOR TENANTS-	
REAL ESTATE OFFICE	= 1,399.60 S.F.
RESTAURANT	= 1,399.60 S.F.
2nd FLOOR TENANTS-	
FRONT UNIT- RESIDENTIAL	= 1,578.20 S.F.
REAR UNIT - RESIDENTIAL	= 1,221.00 S.F.
TOTAL PARKING PROVIDED	= (7)SEVEN PARKING SPACES

SURVEY ADDRESS:
233 E. COMMERCIAL BOULEVARD
LAUDERDALE BY THE SEA, FLORIDA 33308

CERTIFY TO:
1 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
2 BRIGHLEY, MYRICK & UDELL, P.A.
3 GUY FAVART

FLOOD ZONE & ELEVATIONS:
FLOOD ZONE X
BASE FLOOD ELEVATION: N/A
CONTROL PANEL NO. 125123-0209-F
DATE OF FIRM INDEX. 10/02/97

POTENTIAL ENCROACHMENTS:
1. COVERED CONCRETE CROSSES OVER THE SOUTHERLY AND WESTERLY PROPERTY LINES

LEGAL DESCRIPTION:
LOT 7, BLOCK K OF "SILVER SHORES SECTION OF LAUDERDALE BY THE SEA UNIT B", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 31, AT PAGE 3, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA..

LEGEND & ABBREVIATIONS:

A	= ARC	DE	= DRAINAGE EASEMENT	P.C	= POINT OF CURVATURE
A/C	= AIR CONDITIONER	ELEV	= ELEVATION	P.I	= POINT OF INTERSECTION
A.E	= ANCHOR EASEMENT	E.M.	= ELECTRIC METER	P.R.C	= POINT OF REVERSE CURVE
ASPH.	= ASPHALT	FP & L.	= FLORIDA POWER & LIGHT	P.O.B	= POINT OF BEGINNING
B.M.	= BENCHMARK	L.B	= LICENSED BUSINESS	P.O.C	= POINT OF COMMENCEMENT
B.C.R.	= BROWARD COUNTY RECORDS	L.P	= LIGHT POLE	P.P	= POWER POLE
C.B.S.	= CONCRETE BLOCK STRUCTURE	M.H.	= MANHOLE	R	= RADIUS
CHATT	= CHATTAHOOCHEE	(M)	= MEASURED	RES	= RESIDENCE
CONC	= CONCRETE	MAINT	= MAINTENANCE	R/W	= RIGHT-OF-WAY
CL.F	= CHAIN LINK FENCE	NO.	= NUMBER	T	= TANGENT
CL.P	= CONCRETE LIGHT POLE	N.G.V.D	= NATIONAL GEODETIC VERTICAL DATUM	(TYP.)	= TYPICAL
(C)	= CALCULATED	O.H	= OVERHANG	U.E.	= UTILITY EASEMENT
C.B.	= CHORD BEARING	O.R.B	= OFFICIAL RECORDS BOOK	W.F	= WOOD FENCE
C.R.	= CABLE RISER	O/S	= OFFSET	W.M.	= WATER METER
(D)	= DEED	(P)	= PLAT		= DELTA OR CENTRAL ANGLE
D.B.	= DEED BOOK	P.B.C.R.	= PALM BEACH COUNTY RECORDS		= CENTERLINE
M-D.C.R.	= MIAMI-DADE COUNTY RECORDS	P.B	= PLAT BOOK		= ELEVATION

GENERAL NOTES:

1. TYPE OF SURVEY BOUNDARY
2. IF THIS SURVEY HAS BEEN REVISED AS INDICATED IN THE REVISION BOX SHOWN HEREON, THEN ANY AND ALL PREVIOUS VERSIONS OF THIS SURVEY PREPARED BY PINNELL SURVEY, INC. ARE NULL & VOID
3. THE PROPERTY SHOWN HEREON WAS NOT ABSTRACTED FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS OF RECORD BY PINNELL SURVEY, INC. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT DEPICTED ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY, FOR WHICH THE SUBJECT PROPERTY IS LOCATED IN
4. UNLESS OTHERWISE NOTED, FIELD MEASUREMENTS ARE IN AGREEMENT WITH RECORD MEASUREMENTS
5. ELEVATIONS SHOWN HEREON (IF ANY) ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929, UNLESS OTHERWISE NOTED
6. UNDERGROUND IMPROVEMENTS AND UTILITIES ARE NOT LOCATED
7. FENCE AND WALL OWNERSHIP IS NOT DETERMINED
8. THIS DRAWING IS THE PROPERTY OF PINNELL SURVEY, INC. AND SHALL NOT BE USED OR REPRODUCED, WHOLE OR IN PART WITHOUT WRITTEN PERMISSION & AUTHORIZATION FROM PINNELL SURVEY, INC.
9. ALL EASEMENTS SHOWN ON THE ATTACHED DRAWING ARE PER THE RECORD PLAT (UNLESS OTHERWISE NOTED).
10. THIS SURVEY IS FOR MORTGAGE AND TITLE PURPOSES ONLY

REVISIONS	BY

FOR::: 233 - UNIT "C", EAST COMMERCIAL BLVD.
FOLIO :: 4943-18-07-0420 , LAUDERDALE BY THE SEA , FL. 33308

Charles O. Buckalew
Consulting Engineering Services, Inc.
801 South Ocean Drive, Suite 201
Hollywood, Florida 33019
C.O.A. Number 6255
Tele (954) 558-1189 Fax (954) 929-8988



CHARLES O. BUCKALEW, P.E.
CONSULTING ENGINEER
NO. 25042

DATE	OCT , 2022
SCALE	1"=20'-0"
BY	CRW
JOB	OC-2297
SHT	SP-1

REVISIONS	BY
03-08-22, REV. PER	CW.
09-08-22, REV. PER	CW.
ZONING REVIEW	

FOR::: 233 EAST COMMERCIAL BLVD. - AIRB-B

Charles O. Buckalew

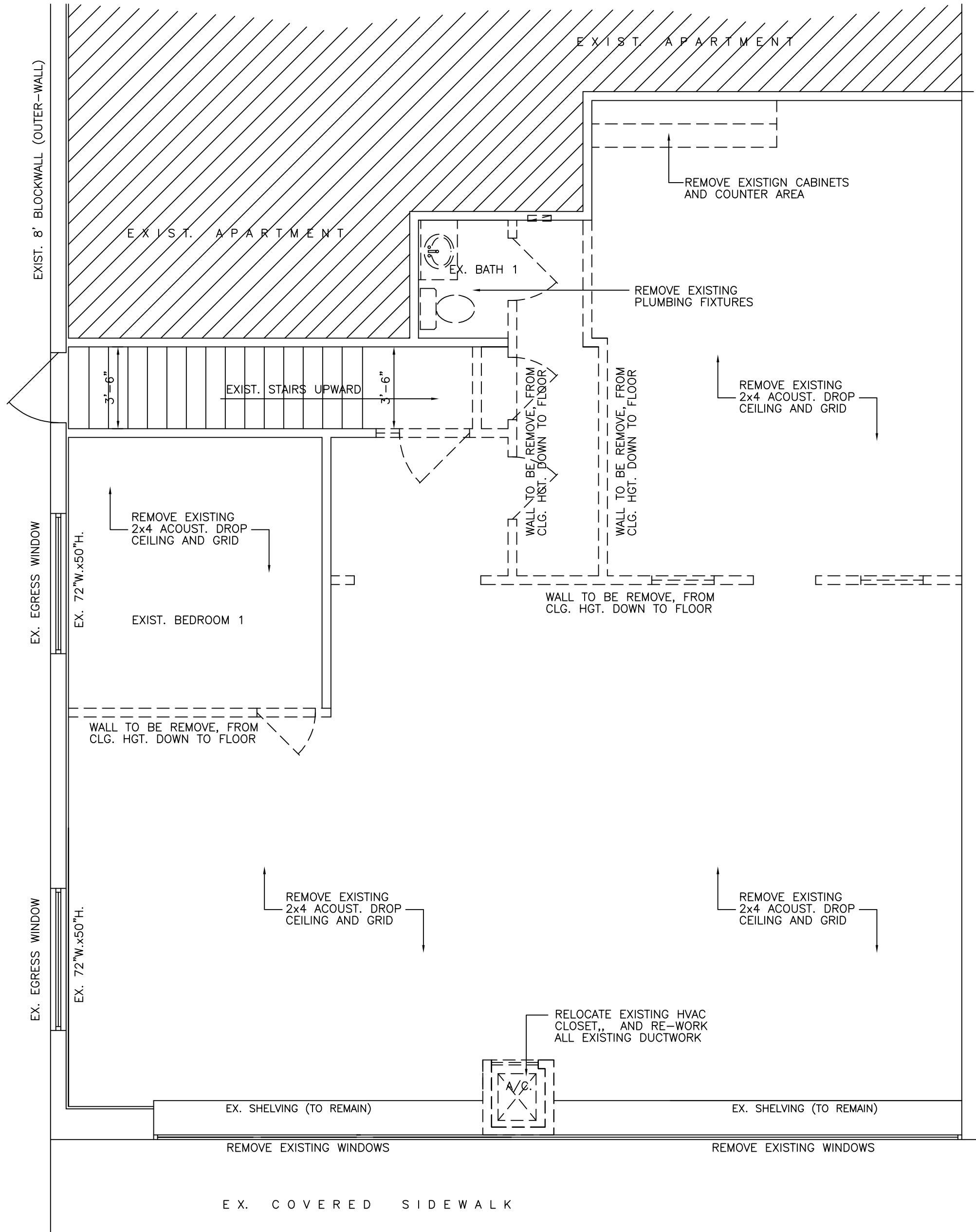
Consulting Engineering Services, Inc.
801 South Ocean Drive, Suite 201
Hollywood, Florida 33019
C.O.A. Number: 6255
Tele.: (954) 558-1189 Fax.: (954) 929-8988



CHARLES O. BUCKALEW, P.E.
FLORIDA REG. NO. 24624

DATE	DEC., 2019
SCALE	1/4"=1'-0"
BY	C.R.W.
JOB	DE-1997
SHT	A-1

1
2



INT. DEMOLITION PLAN

SCALE:: 1/4"=1'-0"

DEMOLITION NOTES:

ALL WASTE MATERIAL/DEBRIS TO BE REMOVED AND DISPOSED OF BY CONTRACTOR

IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR VISIT THE SITE PRIOR TO IMPROVEMENTS TO BECOME FAMILIAR WITH EXISTING SITE CONDITIONS

CONTRACTOR TO MAINTAIN FULL SERVICES TO EXIST. TENANT SERVICE BAY, I.E., ELECT., CABLE, POTABLE WATER, SAN. SEWER, ETC... UNDER NO CIRCUMSTANCES SHALL THESE SERVICES BE INTERRUPTED OR ANY CONDITIONS ALTERED, UNLESS OTHERWISE INDICATED.

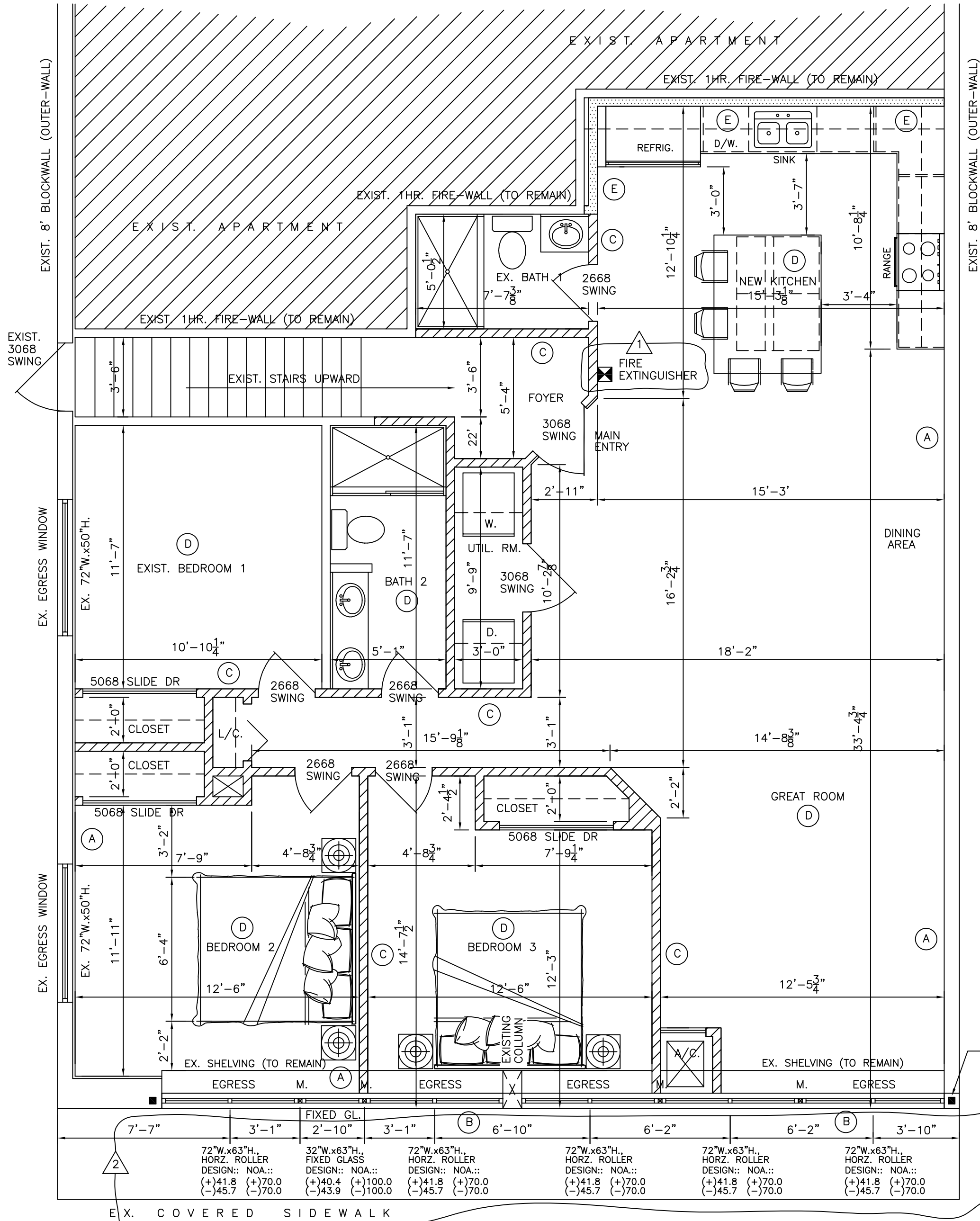
CURRENT ELECTRIC, HVAC., WATER & SEWER SERVICE IS ACTIVE FOR TENANT BAY., ALL ITEMS TO REMAIN IN EXIST. CONDITION, UNLESS OTHERWISE INDICATED.

DEMOLITION OF EXISTING CONDITIONS SHALL BE CONFINED TO INTERIOR OF TENANT SPACE ONLY. ALL ITEMS SCHEDULED FOR REMOVAL ARE CONSIDERED NON-STRUCT., LIMITED TO PREVIOUS TENANT EXISTING ITEMS AND FLOOR CARPET COVERING. ALL DEMOLITION TO BE REMOVED THRU TENANT SPACE ACCESS LOCATIONS., CONTRACTOR SHALL ENSURE THAT SIDEWALK ACCESSIBILITY IS MAINTAINED AT ALL TIMES FOR PEDESTRIAN USAGE THROUGHOUT THE DURATION OF CONSTRUCTION..

ALL EXISTING HVAC, ROOF-GROUND MOUNTED EQUIPMENT ALONG WITH INTERIOR DUCT-WORK, TO BE REPLACED (RELOCATE UNIT AND NEW DUCT-WORK). CONTRACTOR SHALL FIELD INSPECT ALL EXISTING EQUIPMENT AND SYSTEMS FOR FULL OPERABLE CONDITIONS AND PROVIDE A SERVICE REPORT TO TENANT & ENGINEER FOR REVIEW..

GENERAL NOTES:

- UNLESS OTHERWISE NOTED, ALL MATERIALS, WORKMANSHIP & PRACTICES SHALL MEET THE REQUIREMENTS OF THE FOLLOWING:
 - THE 2020 FLORIDA BUILDING CODE, 7th. EDITION., RESIDENTIAL, CHAPTER 3 & ASCE 7-16., ALL APPLICABLE SPECIFICATIONS & REQUIREMENTS.
- THE LOCATION OF EXIST. UTILITIES & STRUCTURES HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER.
- THE CONTRACTOR SHALL VISIT SITE & VERIFY ALL EXIST. CONDITIONS PRIOR TO CONSTRUCTION & BRING ALL CONFLICTS TO THE ATTENTION OF THE ENGINEER.
- ALL CONC. SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 2,500 PSI @ 28 DAYS.
- REINFORCING BARS SHALL COMPLY W/ ASTM-A 615.
- ALL SHOWER/TUB WALL LIMITS ARE TO BE IMPERVIOUS MATERIAL. 72" A.F.F. (MATERIAL PER OWNER SPECS.) FLOOR TILE & BASE TRIM ARE TO BE OF IMPERVIOUS MATERIAL. (AS APPLICABLE)
- ALL SOIL & FILL UNDER FLOORS AND/OR WITHIN BLDG. PERIMETER SHALL HAVE SOIL TREATMENT FOR PROTECTION AGAINST TERMITES. CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE CITY BLDG. DEPT. OR COUNTY, PRIOR TO SLAB BEING POURED.
- INT. PARTITION WALLS SHALL BE 3 5/8"-20GA. MTL. STUDS, W/ STUDS @ 16"O.C. & 1/2" GYPSUM BOARD BOTH SIDES (UNLESS OTHERWISE NOTED)
- VERIFY ALL MASONRY & WOOD FRAME OPENING SIZES TO FIT DOORS & WINDOWS BEFORE INSTALLATION NOTIFY ENGINEER OF CONFLICTS PRIOR TO CONSTRUCTION.
- ALL WINDOWS & DOORS BEING INSTALLED, SHALL MEET THE CURRENT REQUIREMENTS FOR MISSILE IMPACT RESISTANCE & TOLERANCE. WINDOWS SHALL MEET ANSI/AAMA 101-93 & AAMA 1302.5 FOR RESIDENTIAL SPECIFICATIONS ON FORCED ENTRY RESISTANCE OR HURRICANE SHUTTERS SHALL BE APPLIED.
- GLAZING CONTRACTOR TO SUPPLY COMT. WEATHER STRIPPING AROUND ALL EXT. DOORS & WINDOWS. WINDOWS TO BE TINTED PER OWNER'S SPECIFICATIONS & ARE TO BE SET IN CAULK BEDS.
- EGRESS WINDOWS SHALL PROVIDE A CLEAR OPENING NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT, 5.7 SQ. FT. IN AREA, W/ THE BOTTOM OF THE OPENING NOT MORE THAN 44" ABOVE F.F.E. AND NO PART OF THE OPERATING MECHANISM MORE THAN 54" ABOVE F.F.E.
- ALL INTERIOR FINISHES, CARPET, TILE, ETC., & FIXTURES, CABINETS, VANITY'S, REFRIG., SHALL BE THE MAKE & STYLE AS SPECIFIED BY PROPERTY OWNER, CONTRACTOR TO COORD. W/ OWNER PRIOR TO INSTALLATION AND/OR PURCHASE. ALL FINISHES & FIXTURES AS SPECIFIED SHALL MEET ALL MIN. STANDARDS OF THE F.B.C.
- ALL INTERIOR & EXTERIOR FINISHES, PAINT, TRIM, BASEBOARDS, ETC., SHALL BE AS SPECIFIED BY PROPERTY OWNER, CONTRACTOR TO VERIFY PRIOR TO INSTALLATION & CONSTRUCTION.
- PROVIDE ATTIC ACCESS IN THE AREA INDICATED. THIS ACCESS SHALL BE 20" TO FIT BETWEEN ROOF TRUSSES & 36" LONG. (MIN. S.F. = 5.0 S.F.)
- SHOWER & TUB, GLASS ENCLOSURES (ENTRY DOOR & SIDE PANELS) SHALL BE SAFETY GLASS (AS APPLICABLE)



2nd. FLOOR NEW UNIT - FLOOR PLAN

SCALE:: 1/4"=1'-0"

USE & OCCUPANCY CLASSIFICATION :
RESIDENTIAL, GROUP "R" (R-2), F.B.C. SECTION 310.4
CLASSIFICATION OF WORK :
(2nd.FLR.) NEW WINDOWS & NEW 8"BLOCKWALL., O.A. S.F.= 1,548.40 S.F.

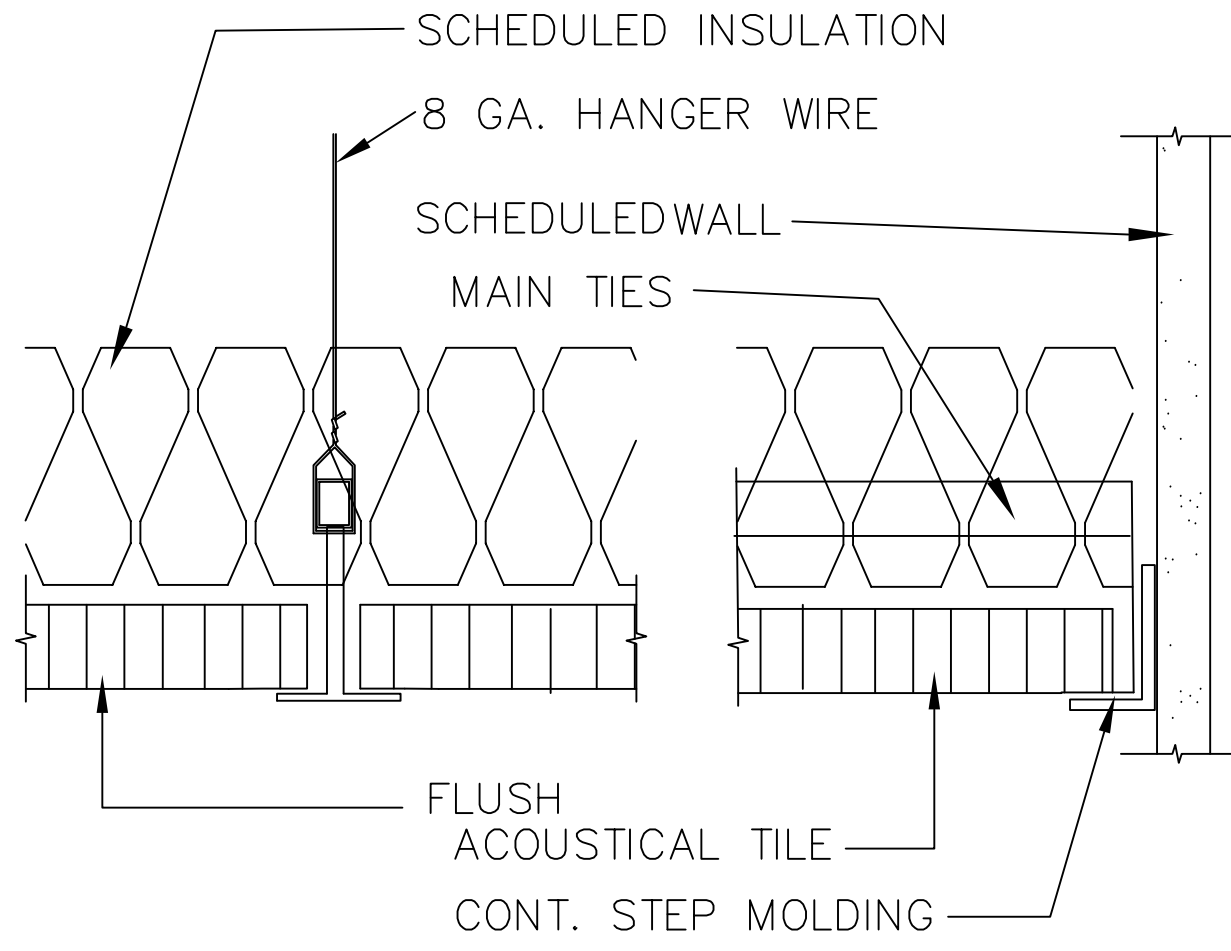
WALL SCHEDULE :

- PROVIDE 1"x2" P.T. WD. FURRINGS @ 16"O.C., WITH R-4.1 INSUL. & FINISHED WITH 5/8" TYPE-X GYP. BOARD (TENANT BLOCKWALL)
- NEW 8" PERIM. CONC. BLOCKWALL W/ HORZ. LADDER REINF. EVERY 2ND. COURSE OF BLOCK., PROVIDE (1) #5 BAR IN VERT. CONC. FILLED CELL AT CORNER LOCATIONS SHOWN & SPACED @ 42"O.C. AROUND FULL PERIM. (SEE DWG. S-1), EXTERIOR WALL FINISHED WITH (3) COAT STUCCO FINISH..
- PROVIDE 3 5/8"-20GA. MTL. STUDS @ 16"O.C., & FINISHED WITH 1/2" GYP. BOARD ECH. SIDE, PROVIDE GREEN-BOARD OR DUR-O-ROC IN BATHROOM & KITCHEN AREAS (WET AREAS) AS NEEDED., REFER TO PLAN LOCATIONS FOR WIDER CHASE-WALL FRAMING & RATED WALL LIMITS
- INTERIOR CLGS. FINISHED WITH MTL. CHANNEL FURRING @ 16"O.C., WITH R-30 BATT. INSULATION THROUGHOUT & FINISHED WITH 5/8" GYP. CEILING BOARD. NEW CEILING HGT.= 8'-7" A.A.F. (OPTIONAL 1"x3"WD. CLG. FURRING @ 16"O.C., ACCEPTABLE)
- EXISTING WALL REQUIRES A FIRE-WALL TO ROOF DECK== NEW 3 5/8"-20GA. MTL. STUDS @ 16"O.C., AND PROVIDE R-13 BATT. INSUL. OR MINERAL-WOOL THROUGHOUT, FINISH WITH ONE LAYER 5/8" TYPE-X GYPSUM BOARD EACH SIDE.. PROVIDE GREEN-BOARD IN KITCHEN AREAS (WET AREAS) AS NEEDED. REFER TO PLAN LOCATIONS FOR FIRE-RATED WALL LIMITS (1HR. FIRE-RATED TENANT SEPARATION WALL, DESIGN NO. U465- ANS/UP. 263)

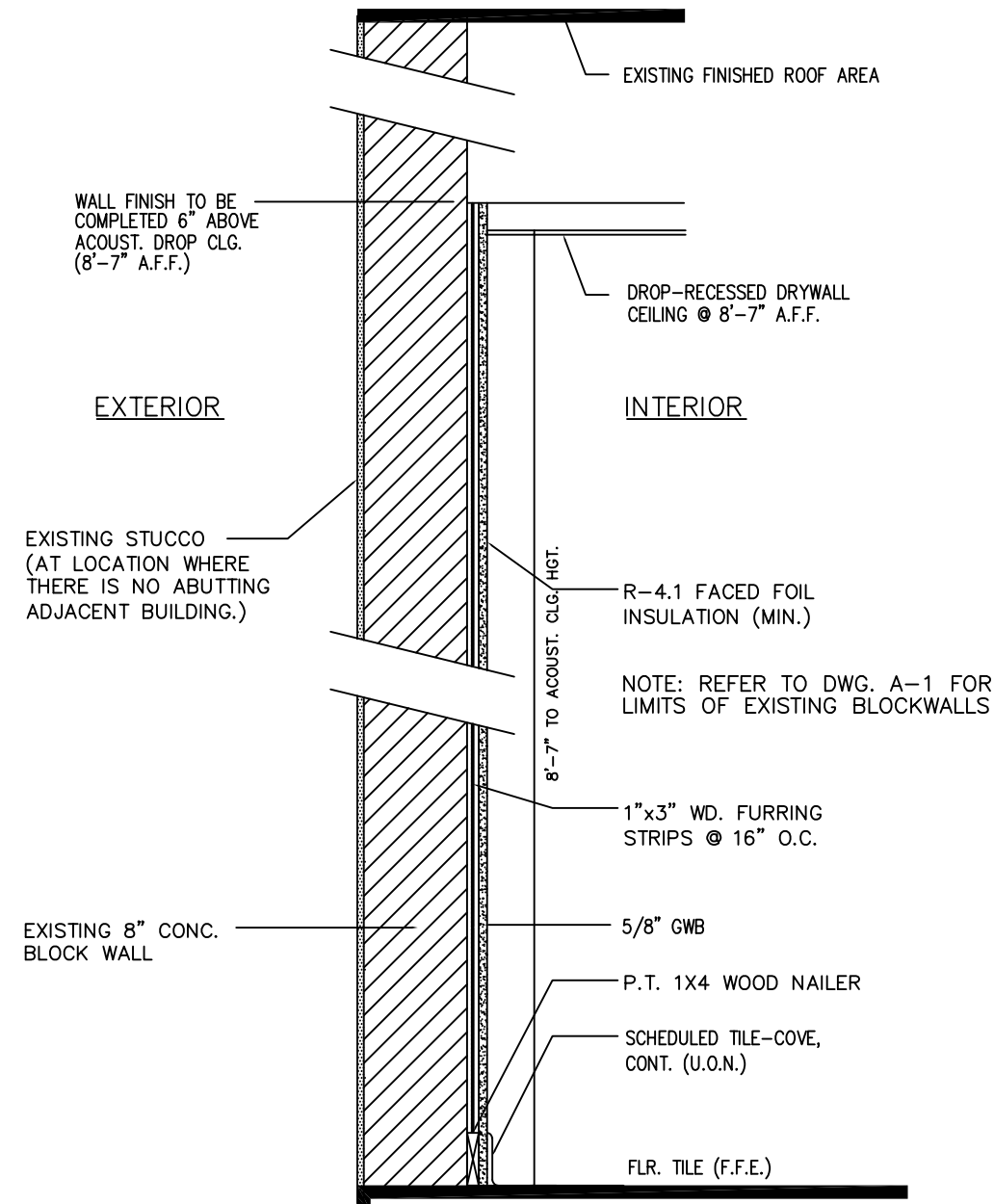
WINDLOAD DESIGN PRESSURES BASED ON FENESTRATION VOLUNTARY WIND-LOAD., PER ASCE 7-16 METHOD 1, PART 1... WIND 180 MPH. (3-SEC. GUST), EXPOSURE-D, Kd.= 0.85 / Kzt.= 1.0, RISK CAT. II, ALLOWABLE STRESS DESIGN (ASD.) METHOD., P.= 0.6W.

CONTRACTOR TO VERIFY ALL MASONRY (R/O.) OPENING SIZES TO FIT DOORS & WINDOWS AS PLAN SPECIFIED., NOTIFY ENGINEER OF CONFLICTS PRIOR TO CONC. POUR.. WINDOW & DOOR MANUF'S. (BRAND NAMES) AS SPECIFIED OR APPROVED EQUAL, BY OWNER AND ENGINEER

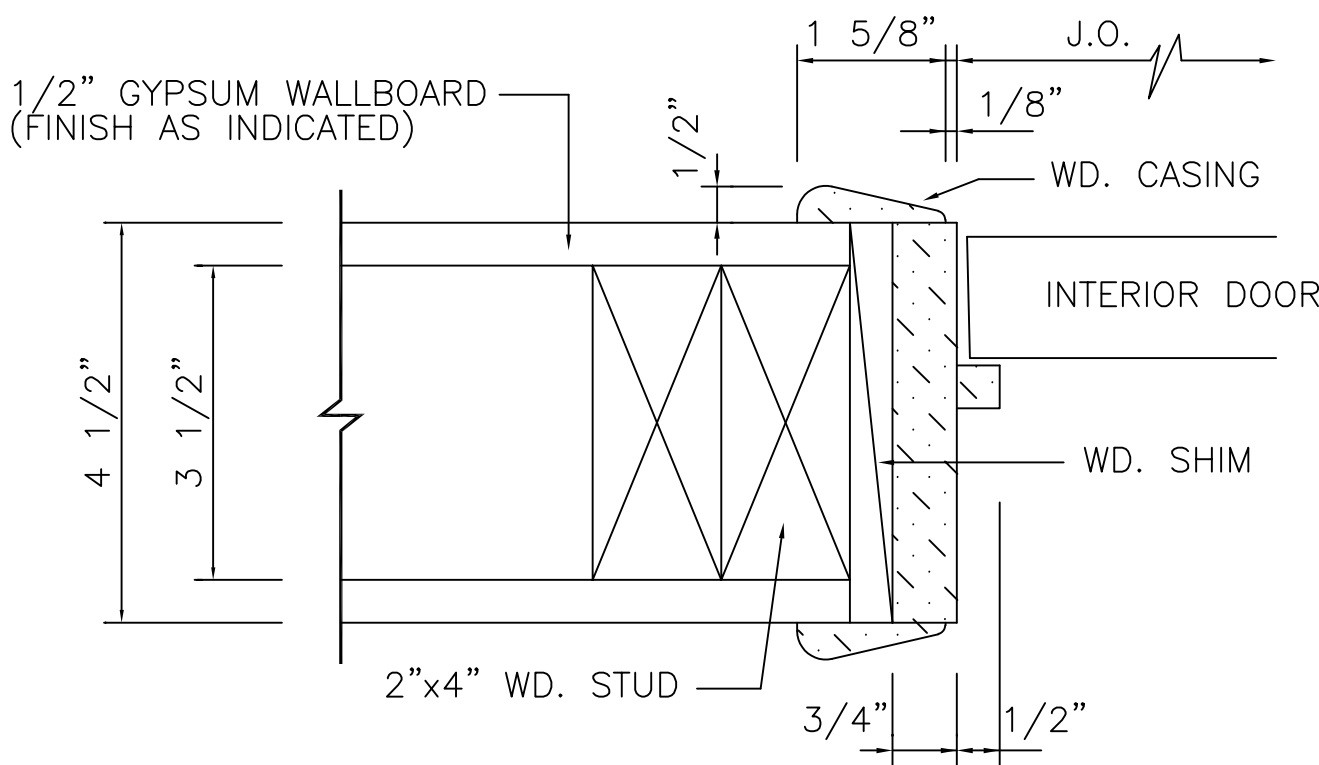
ALONG EACH SIDE OF OPENING, PROVIDE (1) #5BAR VERT. IN CONC. FILLED CELL OR FORMED COLUMN AS NEEDED, DOWEL-EPOXY INTO UPPER & LOWER TIE-BEAM., MINIMUM 4"inch. EMBED INTO EACH BEAM..



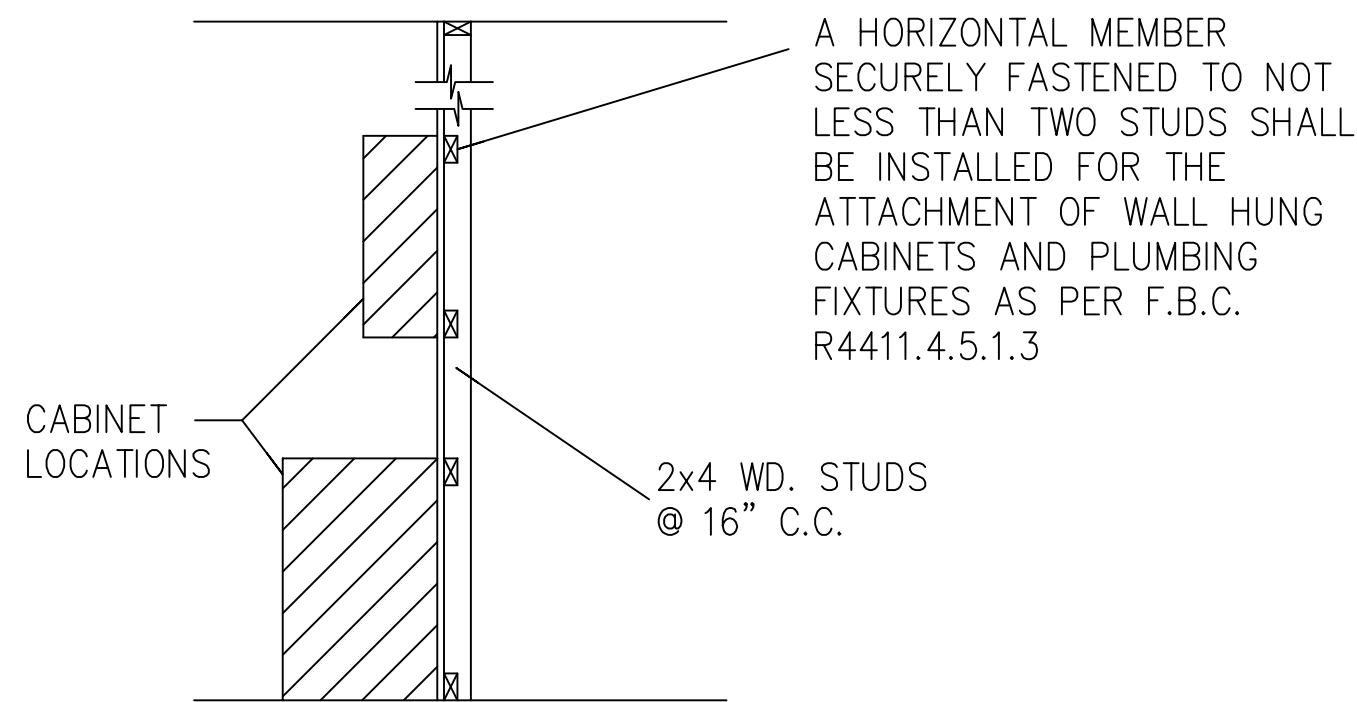
FLUSH ACOUST. CLG. DETAIL



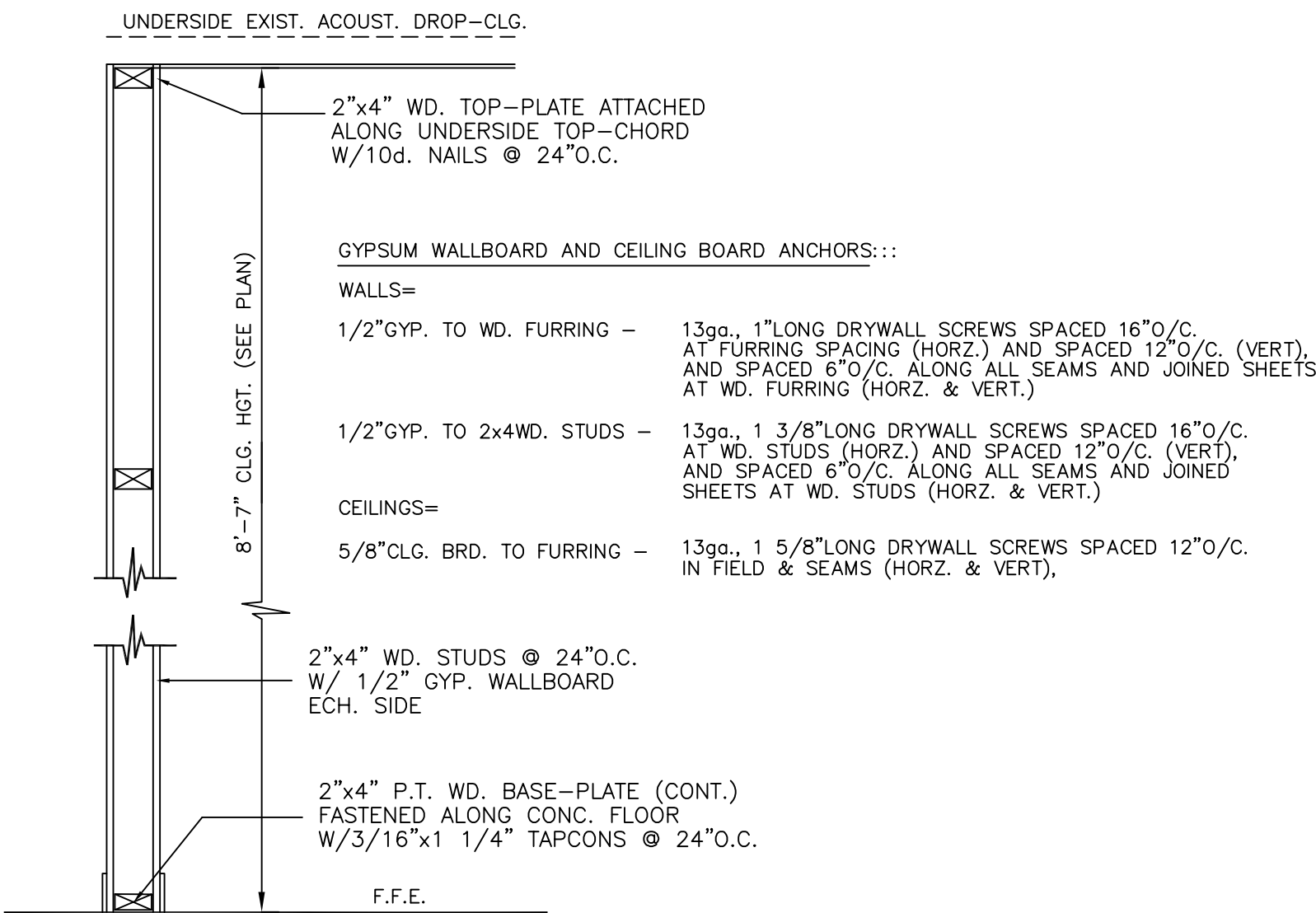
EXIST. CONC. BLOCKWALL DETAIL



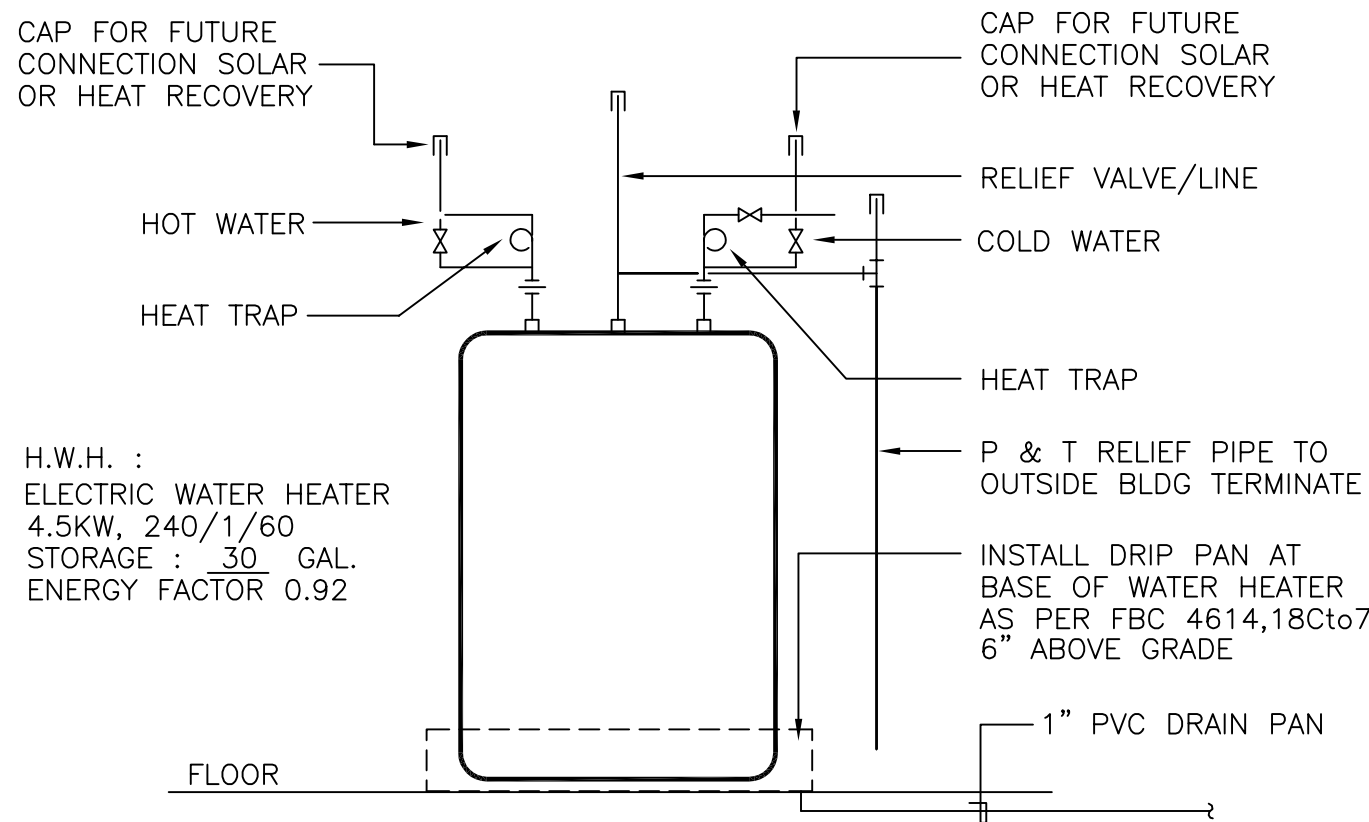
INTERIOR JAMB DETAIL



WALL-HUNG CABINETS



TYP. INT. WALL SECTION



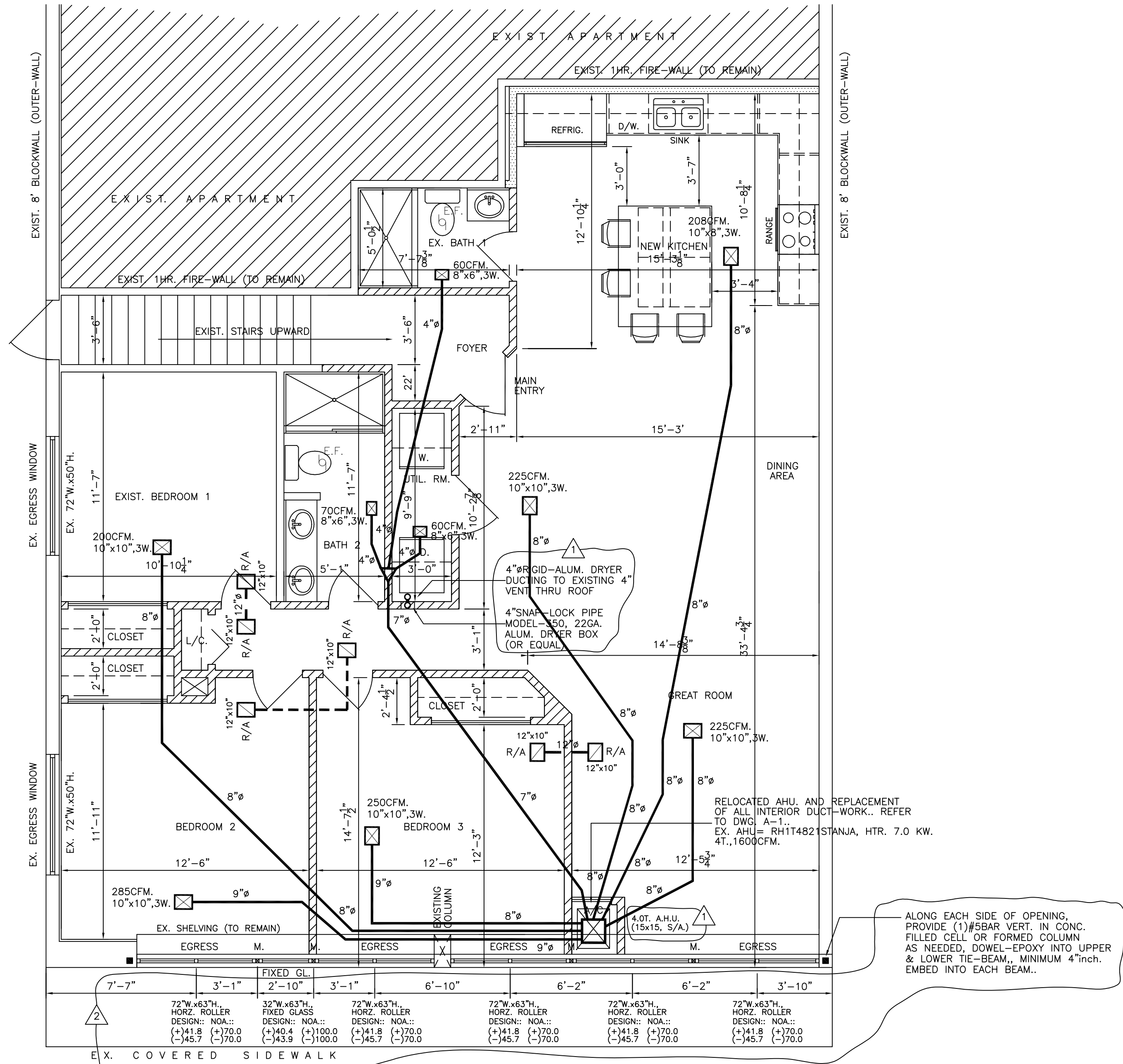
WATER HEATER INSTALL DETAIL

REVISIONS	BY

FOR::: 233 - UNIT "C", EAST COMMERCIAL BLVD.
FOLIO :: 4943-18-07-0420 , LAUDERDALE BY THE SEA , FL. 33308

Charles O. Buckalew
Consulting Engineering Services, Inc.
801 South Ocean Drive, Suite 201
Hollywood , Florida 33019
C.O.A. Number: 6255
Tele. : (954) 558-1189 Fax. : (954) 929-8988

DATE	OCT., 2022
SCALE	AS NOTED
BY	C.R.W.
JOB	OC-2297
SHT	A-2



2nd. FLOOR

HVAC - FLOOR PLAN

SCALE:: 1/4"=1'-0"

GENERAL NOTES & SPECIFICATIONS ::

- THE WORK THAT IS TO BE DONE UNDER THIS HEADING INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS AND EQUIPMENT, PERMITS, FEES, INSPECTIONS, TESTS, INSURANCE, ETC., REQUIRED FOR THE COMPLETION OF THE AIR CONDITIONING, HEATING AND VENTILATION SYSTEMS SHOWN ON DRAWINGS OR LISTED BELOW.
- THE DRAWINGS ARE GENERALLY DIAGNOMATIC. THEY DO NOT SHOW EVERY BEND, OFF-SET, ELBOWS OR OTHER FITTINGS WHICH MAY BE REQUIRED FOR THE INSTALLATION IN THE SPACE ALLOCATED, OR FOR COORDINATION WITH OTHER TRADES.
- DRAWINGS ARE NOT TO BE SCALED. UNLESS SPECIFIC DIMENSIONS ARE SHOWN, THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS, AND SITE CONDITIONS SHALL GOVERN EXACT LOCATION OF MECHANICAL EQUIPMENT AND APPURTENANCES.
- DUCTWORK:
 - SUPPLY AND RETURN AIR DUCTS, SHALL BE CONSTRUCTED OF 1" THICK STANDARD DUTY FIBERGLASS BOARD FLAMEPROOF REINFORCED ALUMINUM FACED COVER IN ACCORDANCE WITH N.F.P.A. NO.90 AS MANUFACTURED BY OWENS-CORNING. DUCTWORK SHALL BE FABRICATED AND INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. USE 1 1/2 INCH THICK R=6.0 DUCTBOARD IN TRUSS/ATTIC SPACE.
 - FLEXIBLE DUCTWORK SHALL BE SELF SUPPORTING ALUMINUM CONSTRUCTION AND INSULATED WITH BLANKET TYPE INSULATION WITH EXTERIOR VAPOR BARRIER WITH R=4.2 (R=6.0 BELOW ROOF AREAS), U.L. LISTED CLASS 1 AIR DUCT, NFPA 90A APPROVED. THERMOFIBRIL OR APPROVED EQUAL.
 - ALL DUCT ELBOWS SHALL BE FITTED WITH TURNING VANES.
 - VENTILATION AND TOILET EXHAUST DUCTWORK SHALL BE CONSTRUCTED OF GALV. FLEX-DUCT (OR EQUAL), CONSTRUCTED IN ACCORDANCE WITH THE LATEST A.S.H.R.A.E. GUIDE AND S.M.A.C.N.A. RECOMMENDATIONS. ALL EXHAUST THROUGH ROOF SHALL TERMINATE MINIMUM OF 8" ABOVE FINISHED ROOF IN ACCORDANCE WITH F.B.C. REQUIREMENTS.
- PROVIDE ACCESS PANELS IN ALL WALL AND CEILINGS FOR ALL VALVES, DAMPERS, CONTROL DEVICES, ETC. ACCESS PANELS SHALL BE MILCOR FLUSH TYPE.

8. INSULATION:

PIPING-CONDENSATE PIPING AND REFRIGERATION SUCTION PIPING SHALL BE INSULATED WITH 3/4" FIRE RATED FLEXIBLE FOAM INSULATION. FINISHED WHERE EXPOSED WITH 2 COATS OF WHITE LATEX PAINT ALL AS PER THE MANUFACTURER'S INSTRUCTIONS.

9. FILTERS:

- PROVIDE TWO SETS OF TEMPORARY FIBERGLASS THROWAWAY FILTERS OF THE SAME THICKNESS AS FINAL FILTERS FOR USE DURING CONSTRUCTION.
- PROVIDE TWO COMPLETE SETS OF FINAL FILTERS.

10. TESTING:

- BALANCE AIR SYSTEM TO DELIVER QUANTITIES AT EACH OUTLET WITHIN 10% USING A.A.B.C. PROCEDURES AND TESTS.

11. VIBRATION ISOLATION: ALL EQUIPMENT AS PER MANUFACTURER'S RECOMMENDATIONS OR AS SPECIFIED ON DRAWINGS.

12. VERIFY ALL VOLTAGES WITH ELECTRICAL CONTRACTORS BEFORE ORDERING ANY EQUIPMENT.

13. AIR DISTRIBUTION, AIR HANDLING UNITS, FANS, AND AIR COOLED CONDENSING UNITS SHALL BE AS SCHEDULED ON THE DRAWINGS OR EQUAL.

14. SUBMIT SHOP DRAWINGS OF ALL MATERIALS, DUCTWORK AND EQUIPMENT FOR REVIEW PRIOR TO FABRICATION. (ONLY AS ENGINEER SPECIFIED)

15. CONTROL:

- ALL ELECTRICAL WIRING AND CONDUIT SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.

16. THERMOSTATS SHALL BE HEAT-COOL TYPE WITH FAN AND SELECTOR SWITCHES ON SUB BASE. LOCATED WHERE INDICATED ON PLANS AS PER SPECIFIED UNIT MANUFACTURER.

17. ALL EQUIPMENT AND MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR. COMPRESSORS SHALL CARRY 5 YEAR FACTORY GUARANTEE. FURNISH 90 DAYS FREE SERVICE.

18. CONTRACTORS SHALL VERIFY SPACE CONDITIONS AND DIMENSIONS AND SHALL COORDINATE WORK WITH ALL OTHER TRADES AT JOBSITE PRIOR TO FABRICATION AND INSTALLATION OF DUCTWORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FULL COORDINATION OF THIS WORK WITH THAT OF ALL OTHER TRADES.

19. REFRIGERANT PIPING SHALL BE TYPE 1/2" COPPER TUBING WITH WROUGHT COPPER FITTINGS AND SILVER SOLDERED JOINTS. PIPING SHALL BE SIZED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS FOR EQUIPMENT LOCATIONS SHOWN.

20. ALL FAN DRIVES SHALL BE ADJUSTED TO DELIVER THE SPECIFIED CFM AGAINST THE ACTUAL STATIC PRESSURE OF THE INSTALLATION.

21. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA BUILDING CODE, AND ALL LOCAL MUNICIPAL & COUNTY CODES AND ORDINANCES HAVING JURISDICTION.

22. NAMING OF ACCEPTABLE MANUFACTURERS DOES NOT RELIEVE THE CONTRACTORS FROM COMPLYING WITH ALL THE BASIS OF DESIGN REQUIREMENTS SHOWN ON CONTRACT DRAWINGS AND/OR SPECIFICATION.

23. AIR DISTRIBUTION SHALL BE OF EXTRUDED ALUMINUM CONSTRUCTION AS MANUFACTURED BY TITUS OR EQUAL FINISH SHALL BE OFF-WHITE :

- 'A' CEILING DIFFUSER : MODEL 250-AA W/ O.B.D.
'B' SIDEWALL REGISTER : MODEL 272FSS W/ O.B.D.
'C' CEILING/WALL GRILLE : MODEL 3FL

FURNISH AIR DISTRIBUTION DEVICES COMPLETE WITH FRAME FOR DRY WALL CEILING INSTALLATION.

INSULATED VALUES :

PERIM. BLOCKWALL = R-4.1
UPPER-ATTIC AREA = R-30

HVAC DESIGN REQUIREMENTS	YES	
DUCT SMOKE DETECTOR		NO
FIRE DAMPER(S)		NO
SMOKE DAMPER(S)		NO
FIRE RATED ENCLOSURE		NO
FIRE RATED ROOF/FLOOR		NO
CEILING ASSEMBLY		NO
FIRE STOPPING		NO
SMOKE CONTROL		NO

AHRI CERTIFIED REF. NO.:: 201294083

Equipment	Rheem 4 Ton, 16.0 SEER		
Condensing Unit Model #	RA1648AJ1		
Air Handler Unit Model #	RH1T4821STANJA		
Heat Strips	7kw		
Fan Performance	1583 CFM @ .10 Static		
Total Cap.-	Sensible Cap.-	33500	Latent Cap.- 12000
AHU Size	High-	53.43	Wide- 24.50 Deep- 21.00

Electrical Data	Model #	Phase / Volts	Fuse or HACR Circuit Breaker Max Amps	Comp. RLA	Comp. LRA
Condensing Unit	RA1648AJ1	1-60-208/230	30	14.1	77.0
AHU / Heater	7kw	1-60-208/230	50		

EXH. FAN (E.F.) = BROAN MODEL #XB80, 80CFM.
EXHAUST FAN
0.8 SONES, <0.3 SONES-7.6W.
VENT WITH 4" Ø DUCT V.T.R.
(OR EQUAL)

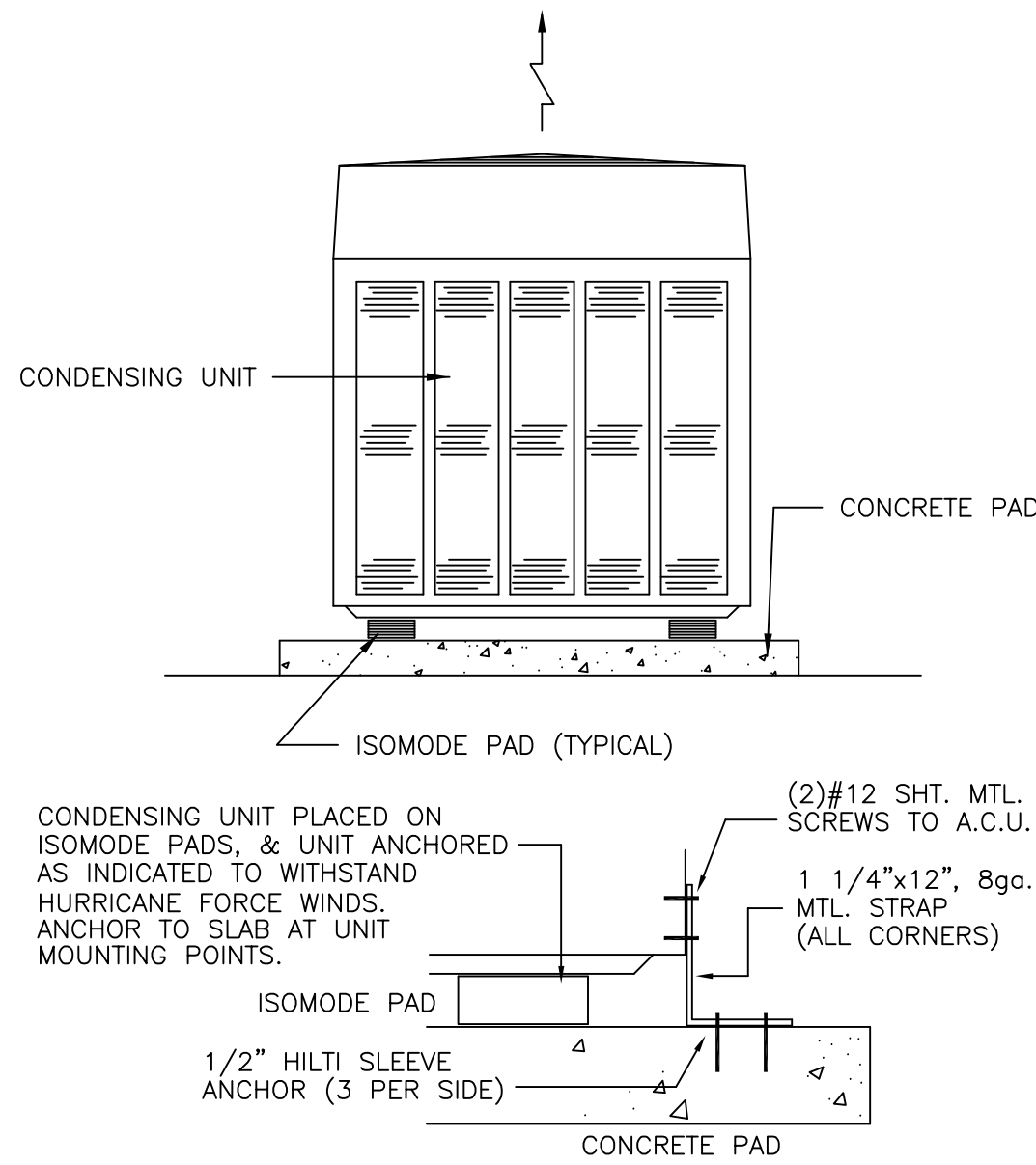
UNIT NOTES :

- PROVIDE UNIT MOUNTED CIRCUIT BREAKER FOR AIR HANDLING UNIT.
- PROVIDE ANTI-SHORT CYCLE TIMER FOR CONDENSING UNIT.
- PROVIDE PROGRAMMABLE TYPE THERMOSTAT FOR AIR HANDLING UNIT.
- R-6 DUCTWORK.
- USE RETURN AIR GRILL THRU UTILITY WALL.
- PIPING:

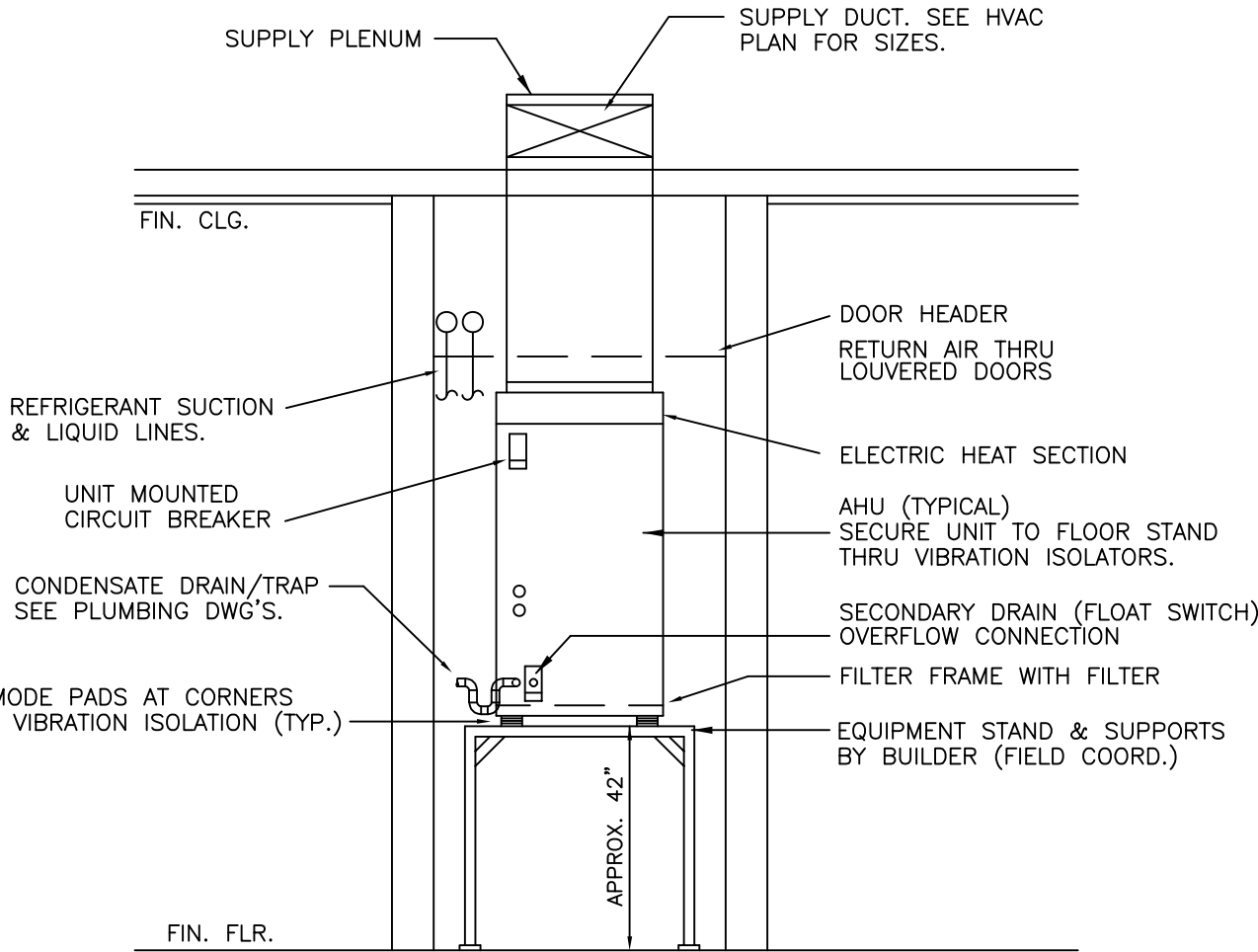
A.H.U. UNIT :

AUXILIARY DRAIN PANS SHALL BE REQUIRED. SIZE & MAKE SHALL MEET MIN. REQUIREMENTS OF THE F.M.C., M307.2.3. A SEPARATE DRAIN LINE SHALL EXTEND FROM THE PAN TO A CONSPICUOUS POINT & SERVE AS AN ALARM INDICATING THAT THE PRIMARY LINE (CONDENSATE) IS RESTRICTED. CONDENSATE LINES SHALL BE TRAPPED AS SPECIFIED BY UNIT MANUF.

A.H.U. SHALL HAVE A CONDENSATE FLOAT SWITCH, TO CONTROL OVERFLOW THAT WILL AUTOMATICALLY SHUT DOWN THE A/C SYSTEM. THIS DEVICE SHALL BE CONNECTED TO THE SECONDARY DRAIN OUTLET ON THE A.H.U. (BECKETT MODEL NO. 4NFW97, OR APPROVED EQUAL)

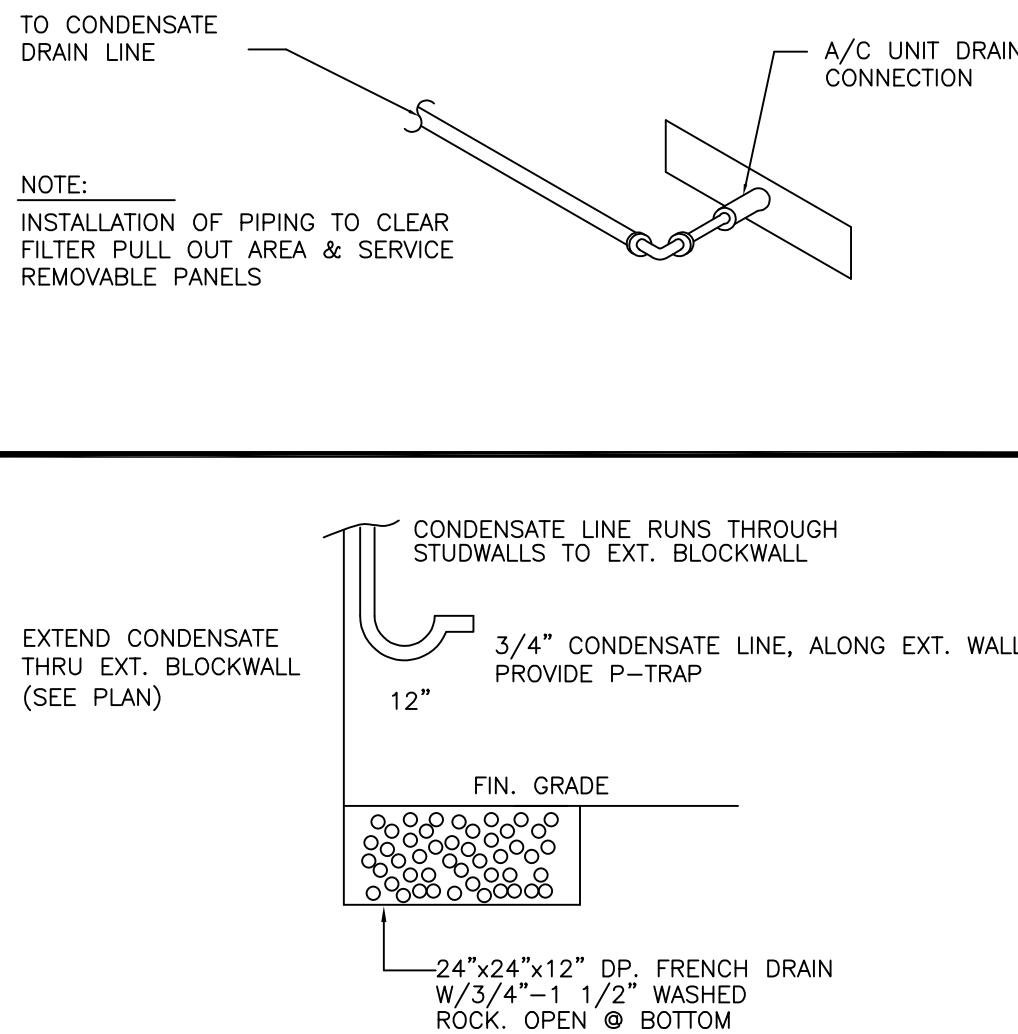


A.C.U. PAD DETAIL

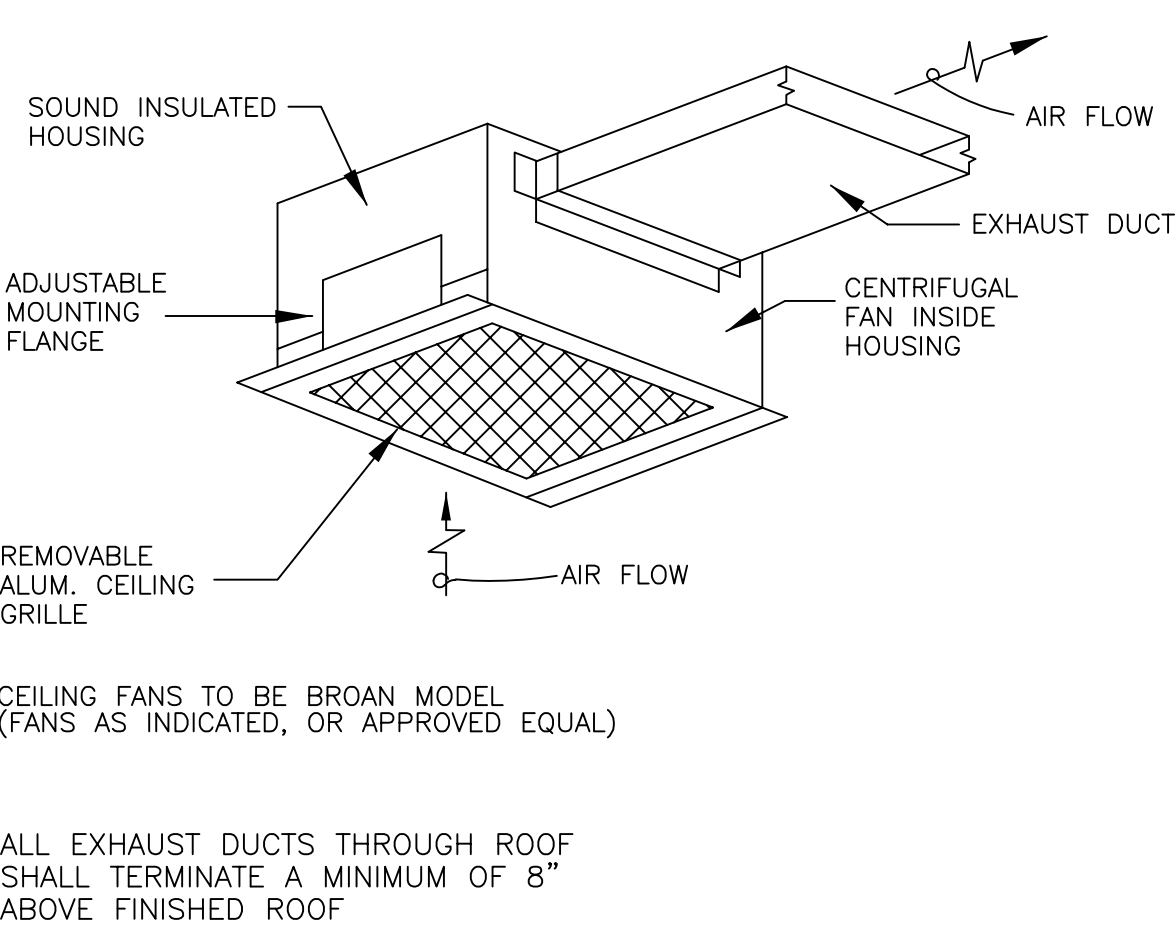


RELOCATE EXISTING UNIT (AHU) AND REDO DUCTWORK

A.H.U. CLOSET DETAIL



CONDENSATE DETAILS



EXHAUST FAN DETAIL

REVISIONS	BY
03-08-22, REV.	PER
CITY REVIEW	OW.
09-08-22, REV.	PER
ZONING REVIEW	OW.

FOR::: 233 EAST COMMERCIAL BLVD. - AIRB-B

Charles O. Buckalew

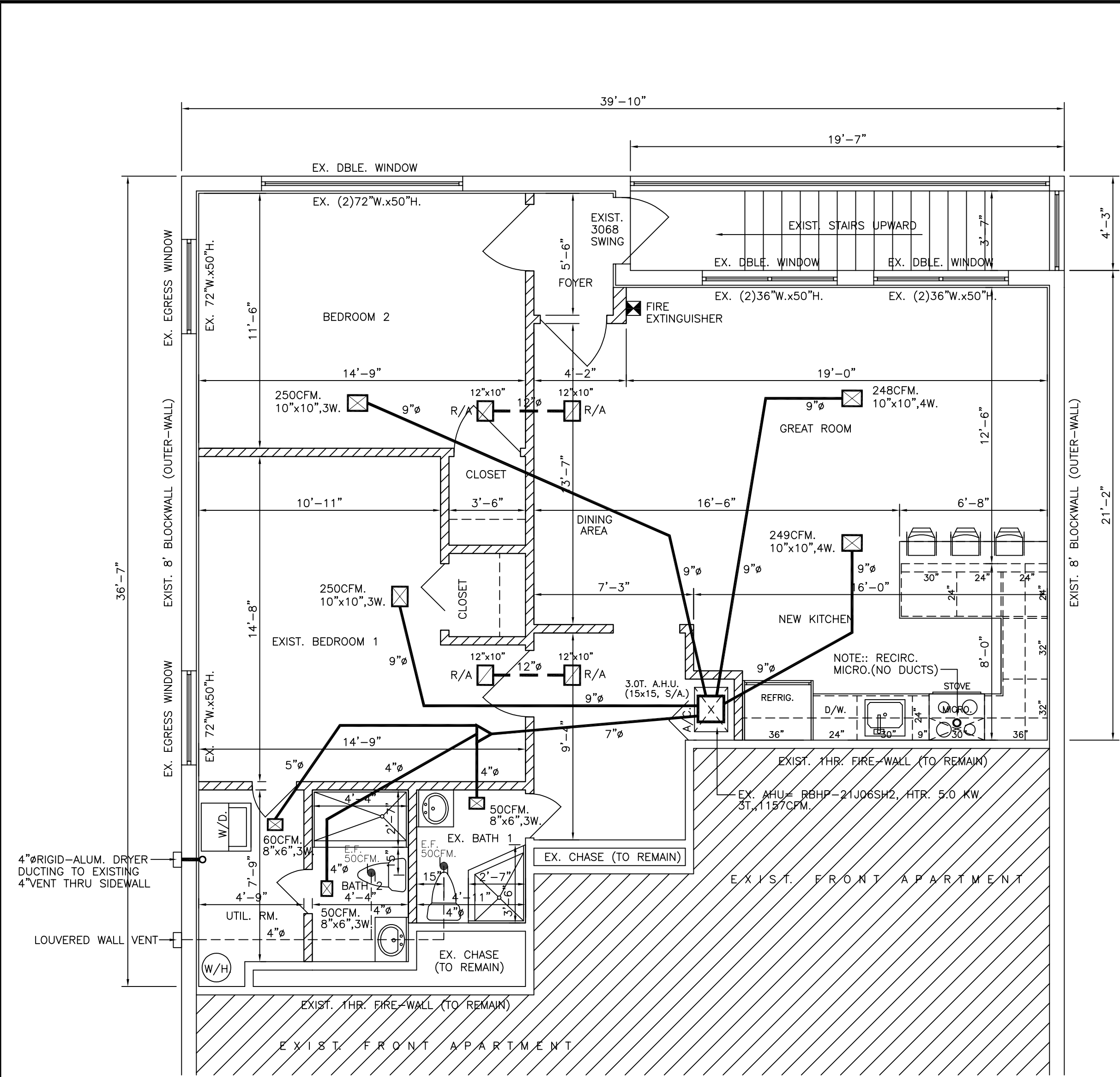
Consulting Engineering Services, Inc.
801 South Ocean Drive, Suite 201
Hollywood, Florida 33019
C.O.A. Number: 6255

Tele. : (954) 558-1189 Fax. : (954) 929-8988



CHARLES O. BUCKALEW, P.E.
FLORIDA REG. NO. 24842

DATE	DEC., 2019
SCALE	1/4"=1'-0"
BY	C.R.W.
JOB	DE-1997
SHT	AC-1



2nd. FLOOR

HVAC - FLOOR PLAN

SCALE:: 1/4"=1'-0"

GENERAL NOTES & SPECIFICATIONS ::

1. THE WORK THAT IS TO BE DONE UNDER THIS HEADING INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS AND EQUIPMENT, PERMITS, FEES, INSPECTIONS, TESTS, INSURANCE, ETC., REQUIRED FOR THE COMPLETION OF THE AIR CONDITIONING, HEATING AND VENTILATION SYSTEMS SHOWN ON DRAWINGS OR LISTED BELOW.

2. THE DRAWINGS ARE GENERALLY DIAGRAMATIC. THEY DO NOT SHOW EVERY BEND, OFF-SET, ELBOWS OR OTHER FITTINGS WHICH MAY BE REQUIRED FOR THE INSTALLATION IN THE SPACE ALLOCATED, OR FOR COORDINATION WITH OTHER TRADES.

3. DRAWINGS ARE NOT TO BE SCALED. UNLESS SPECIFIC DIMENSIONS ARE SHOWN, THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS, AND SITE CONDITIONS SHALL GOVERN EXACT LOCATION OF MECHANICAL EQUIPMENT AND APPURTENANCES.

4. DUCTWORK:

A. SUPPLY AND RETURN AIR DUCTS, SHALL BE CONSTRUCTED OF 1" THICK STANDARD DUTY FIBERGLASS BOARD FLAMEPROOF REINFORCED ALUMINUM FACED COVER IN ACCORDANCE WITH N.F.P.A. NO.90 AS MANUFACTURED BY OWENS-CORNING. DUCTWORK SHALL BE FABRICATED AND INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. USE 1 1/2 INCH THICK R=6.0 DUCTBOARD IN TRUSS/ATTIC SPACE.

B. FLEXIBLE DUCTWORK SHALL BE SELF SUPPORTING ALUMINUM CONSTRUCTION AND INSULATED WITH "BLANKET" TYPE INSULATION WITH EXTERIOR VAPOR BARRIER WITH R=4.2 (R=6.0 BELOW ROOF AREAS), U.L. LISTED CLASS 1 AIR DUCT, NFPA 90A APPROVED. THERMOFIBER OR APPROVED EQUAL.

5. ALL DUCT ELBOWS SHALL BE FITTED WITH TURNING VANES.

6. VENTILATION AND TOILET EXHAUST DUCTWORK SHALL BE CONSTRUCTED OF GALV. FLEX-DUCT (OR EQUAL), CONSTRUCTED IN ACCORDANCE WITH THE LATEST A.S.H.R.A.E. GUIDE AND S.M.A.C.N.A. RECOMMENDATIONS. ALL EXHAUST THROUGH ROOF SHALL TERMINATE MINIMUM OF 8" ABOVE FINISHED ROOF IN ACCORDANCE WITH F.B.C. REQUIREMENTS.

7. PROVIDE ACCESS PANELS IN ALL WALL AND CEILINGS FOR ALL VALVES, DAMPERS, CONTROL DEVICES, ETC. ACCESS PANELS SHALL BE MILCO FLUSH TYPE.
8. INSULATION:

PIPING-CONDENSATE PIPING AND REFRIGERATION SUCTION PIPING SHALL BE INSULATED WITH 3/4" FIRE RATED FLEXIBLE FOAM INSULATION. FINISHED WHERE EXPOSED WITH 2 COATS OF WHITE LATEX PAINT ALL AS PER THE MANUFACTURER'S INSTRUCTIONS.

9. FILTERS:

A. PROVIDE TWO SETS OF TEMPORARY FIBERGLASS THROWAWAY FILTERS OF THE SAME THICKNESS AS FINAL FILTERS FOR USE DURING CONSTRUCTION.

B. PROVIDE TWO COMPLETE SETS OF FINAL FILTERS.

10. TESTING:

A. BALANCE AIR SYSTEM TO DELIVER QUANTITIES AT EACH OUTLET WITHIN 10% USING A.A.B.C. PROCEDURES AND TESTS.

11. VIBRATION ISOLATION: ALL EQUIPMENT AS PER MANUFACTURER'S RECOMMENDATIONS OR AS SPECIFIED ON DRAWINGS.

12. VERIFY ALL VOLTAGES WITH ELECTRICAL CONTRACTORS BEFORE ORDERING ANY EQUIPMENT.

13. AIR DISTRIBUTION, AIR HANDLING UNITS, FANS, AND AIR COOLED CONDENSING UNITS SHALL BE AS SCHEDULED ON THE DRAWINGS OR EQUAL.

14. SUBMIT SHOP DRAWINGS OF ALL MATERIALS, DUCTWORK AND EQUIPMENT FOR REVIEW PRIOR TO FABRICATION. (ONLY AS ENGINEER SPECIFIED)

15. CONTROL:

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16. THERMOSTATS SHALL BE HEAT-COOL TYPE WITH FAN AND SELECTOR SWITCHES ON SUB BASE, LOCATED WHERE INDICATED ON PLANS AS PER SPECIFIED UNIT MANUFACTURER.

17. ALL EQUIPMENT AND MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR. COMPRESSORS SHALL CARRY 5 YEAR FACTORY GUARANTEE. FURNISH 90 DAYS FREE SERVICE.

18. CONTRACTORS SHALL VERIFY SPACE CONDITIONS AND DIMENSIONS AND SHALL COORDINATE WORK WITH ALL OTHER TRADES AT JOBSITE PRIOR TO FABRICATION AND INSTALLATION OF DUCTWORK. THE CONTACTOR SHALL BE RESPONSIBLE FOR THE FULL COORDINATION OF THIS WORK WITH THAT OF ALL OTHER TRADES.

19. REFRIGERANT PIPING SHALL BE TYPE "L" COPPER TUBING WITH WROUGHT COPPER FITTINGS AND SILVER SOLDERED JOINTS. PIPING SHALL BE SIZED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS FOR EQUIPMENT LOCATIONS SHOWN.

20. ALL FAN DRIVES SHALL BE ADJUSTED TO DELIVER THE SPECIFIED CFM AGAINST THE ACTUAL STATIC PRESSURE OF THE INSTALLATION.

21. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA BUILDING CODE, AND ALL LOCAL MUNICIPAL & COUNTY CODES AND ORDINANCES HAVING JURISDICTION.

22. NAMING OF ACCEPTABLE MANUFACTURERS DOES NOT RELIEVE THE CONTRACTORS FROM COMPLYING WITH ALL THE BASIS OF DESIGN REQUIREMENTS SHOWN ON CONTRACT DRAWINGS AND/OR SPECIFICATION.

23. AIR DISTRIBUTION SHALL BE OF EXTRUDED ALUMINUM CONSTRUCTION AS MANUFACTURED BY TITUS OR EQUAL FINISH SHALL BE OFF-WHITE :

'A' CEILING DIFFUSER : MODEL 250-AA W/ O.B.D.
'B' SIDEWALL REGISTER : MODEL 272FSS W/ O.B.D.
'C' CEILING/WALL GRILLE : MODEL 3FL.

FURNISH AIR DISTRIBUTION DEVICES COMPLETE WITH FRAME FOR DRY WALL CEILING INSTALLATION.

Equipment	Rheem 3 Ton, 14.0 SEER			
Condensing Unit Model #	RP1436AJ1NA			
Air Handler Unit Model #	RBHP-21J06SH2			
Heat Strips	5kw			
Fan Performance	1157 CFM @ .10 Static			
Total Cap.-	45500	Sensible Cap.-	33500	Latent Cap.- 12000
AHU Size	High- 35.00	Wide- 24.50	Deep- 21.00	
Electrical Data	Model #	Phase / Volts	Fuse or HACR Circuit Breaker Max Amps	Comp. RLA Comp. LRA
Condensing Unit	RP1436AJ1NA	1-60-208/230	40	14.1
AHU / Heater	5kw	1-60-208/230	30	77.0

EXH. FAN (E.F.) = BROAN MODEL #688, 50CFM.
EXHAUST FAN
0.9AMPS-- 4.0 SONES...
VENT WITH 4" DUCT V.T.R.
(OR EQUAL)

- UNIT NOTES :
1. PROVIDE UNIT MOUNTED CIRCUIT BREAKER FOR AIR HANDLING UNIT.
 2. PROVIDE ANTI-SHORT CYCLE TIMER FOR CONDENSING UNIT.
 3. PROVIDE PROGRAMMABLE TYPE THERMOSTAT FOR AIR HANDLING UNIT.
 4. R-6 DUCTWORK.
 5. USE RETURN AIR GRILL THRU UTILITY WALL.
 6. PIPING:

A.H.U. UNIT :

AUXILIARY DRAIN PANS SHALL BE REQUIRED. SIZE & MAKE SHALL MEET MIN. REQUIREMENTS OF THE F.M.C., M307.2.3, A SEPARATE DRAIN LINE SHALL EXTEND FROM THE PAN TO A CONSPICUOUS POINT & SERVE AS AN ALARM INDICATING THAT THE PRIMARY LINE (CONDENSATE) IS RESTRICTED. CONDENSATE LINES SHALL BE TRAPPED AS SPECIFIED BY UNIT MANUF.

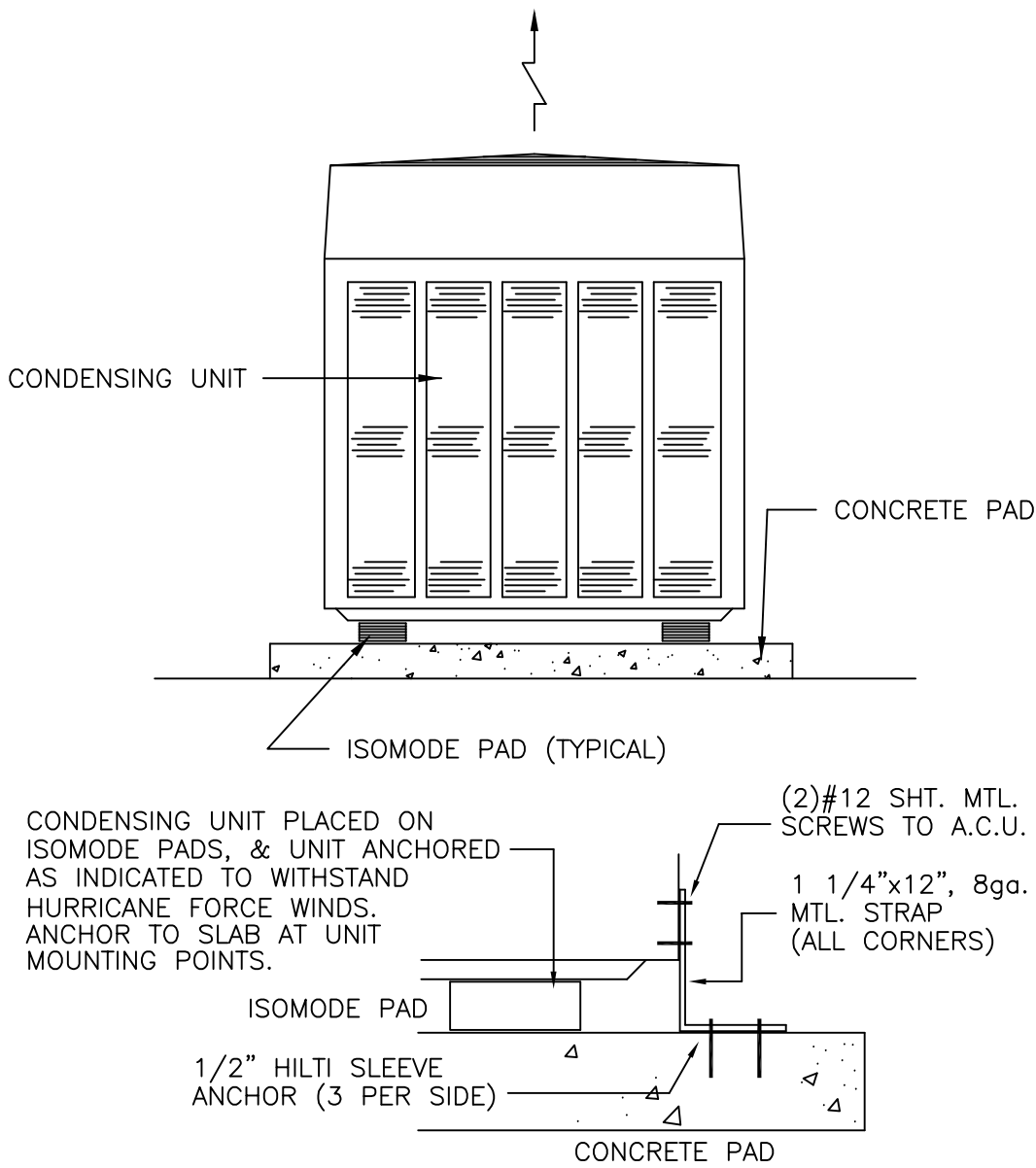
A.H.U. SHALL HAVE A CONDENSATE FLOAT SWITCH, TO CONTROL OVERFLOW THAT WILL AUTOMATICALLY SHUT DOWN THE A/C SYSTEM. THIS DEVICE SHALL BE CONNECTED TO THE SECONDARY DRAIN OUTLET ON THE A.H.U. (BECKETT MODEL NO. 4NFW97, OR APPROVED EQUAL)

Refrigeration Piping
3/8" Liquid Line
7/8" Suction Line
R-3 insulation
Run overhead in attic

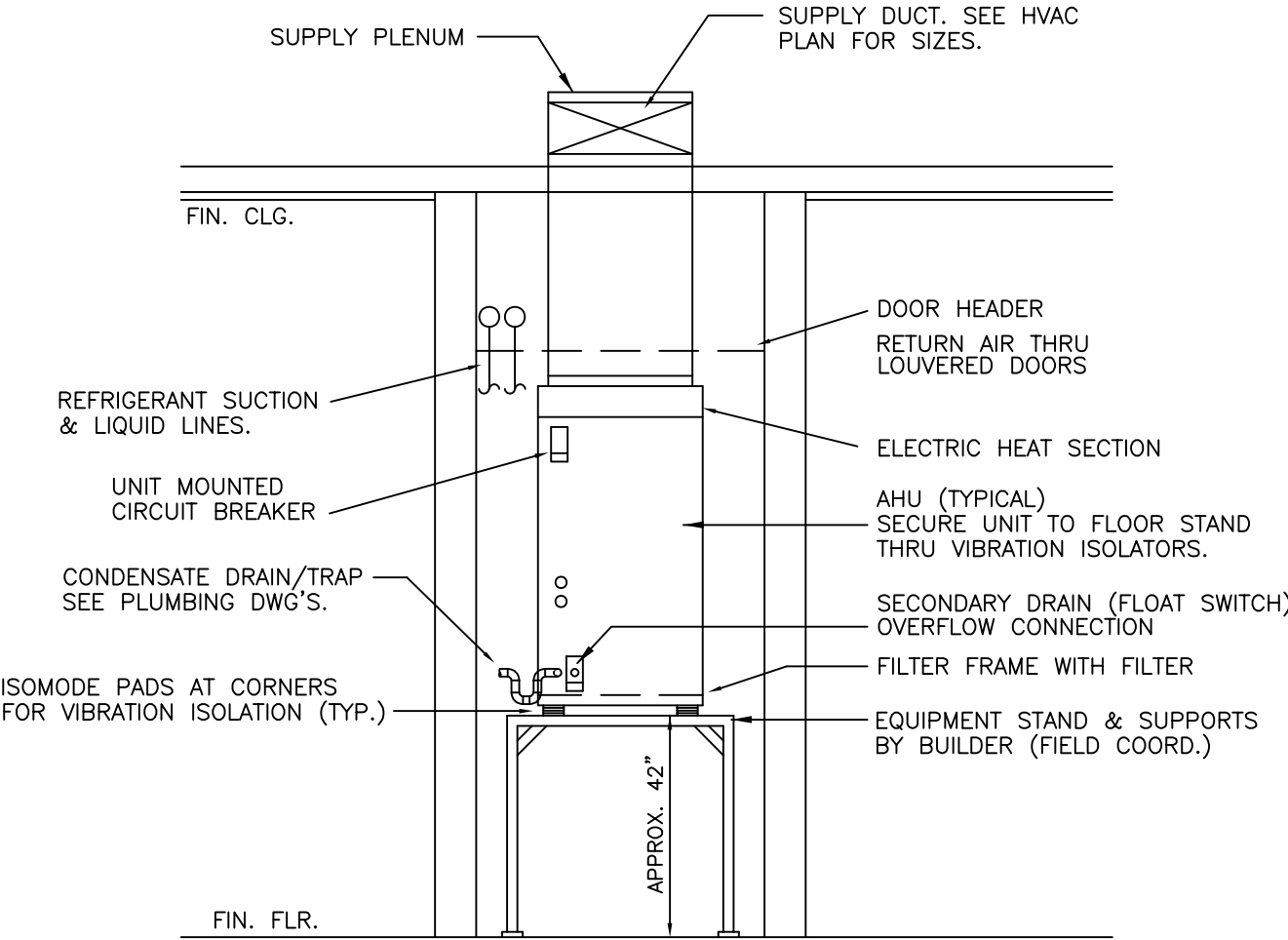
INSULATED VALUES :

PERIM. BLOCKWALL = R-4.1
UPPER-ATTIC AREA = R-30

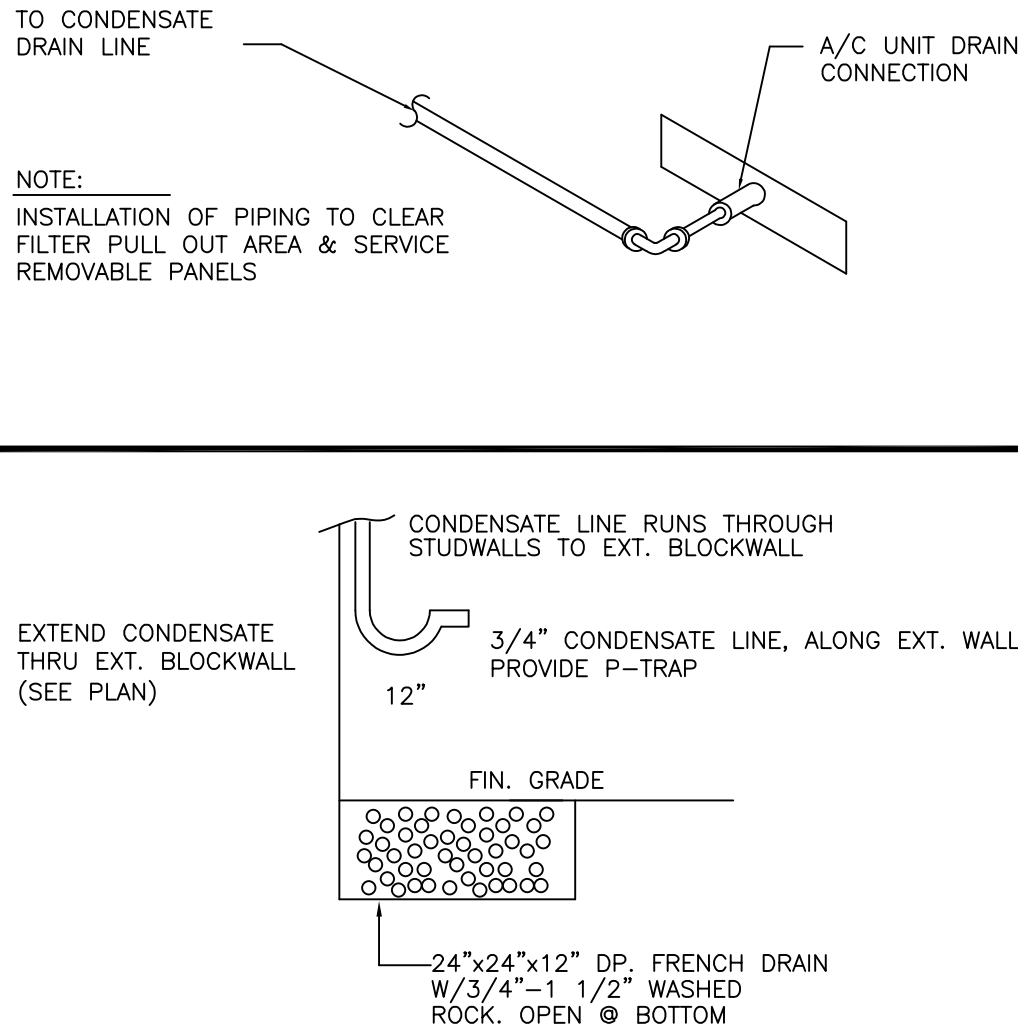
HVAC DESIGN REQUIREMENTS	YES	NO
DUCT SMOKE DETECTOR		NO
FIRE DAMPER(S)		NO
SMOKE DAMPER(S)		NO
FIRE RATED ENCLOSURE		NO
FIRE RATED ROOF/FLOOR		NO
CEILING ASSEMBLY		NO
FIRE STOPPING		NO
SMOKE CONTROL		NO



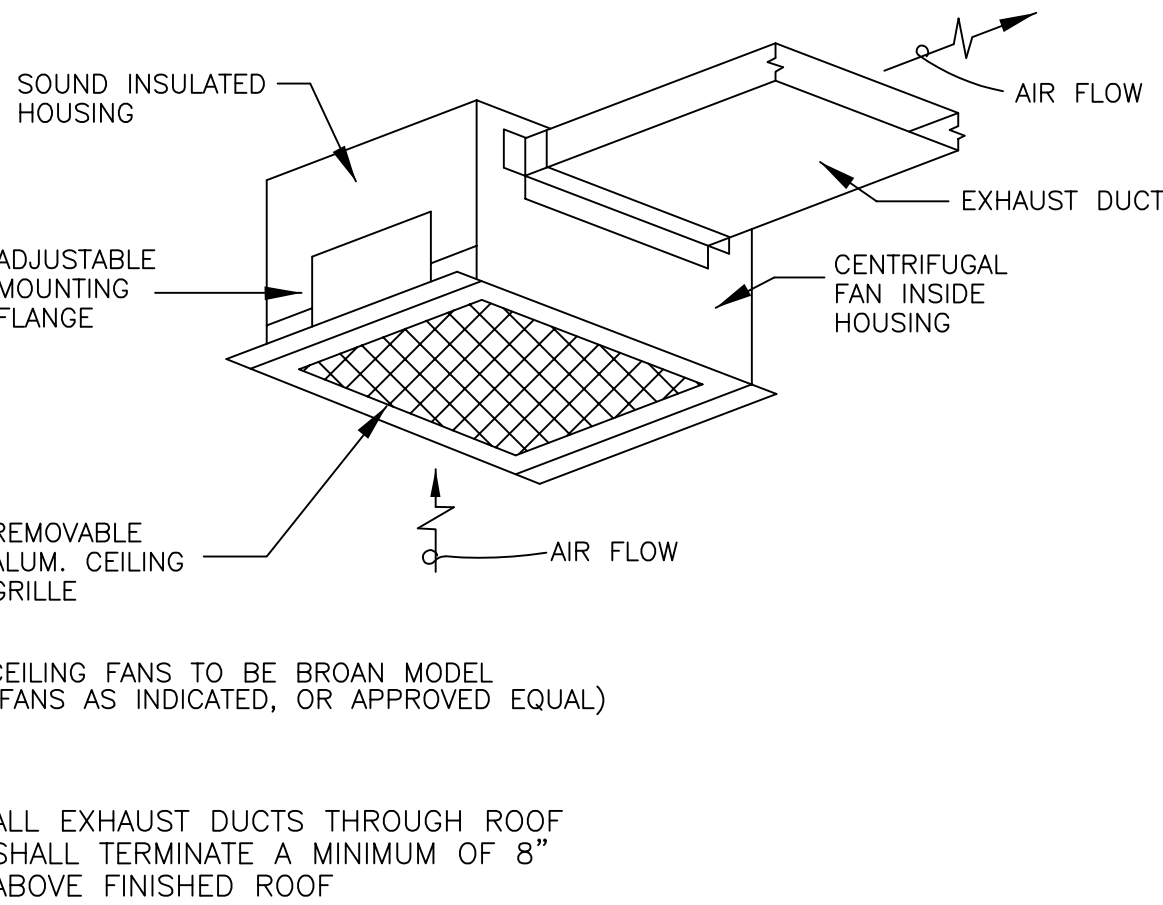
A.C.U. PAD DETAIL



A.H.U. CLOSET DETAIL



CONDENSATE DETAILS



EXHAUST FAN DETAIL

REVISIONS	BY

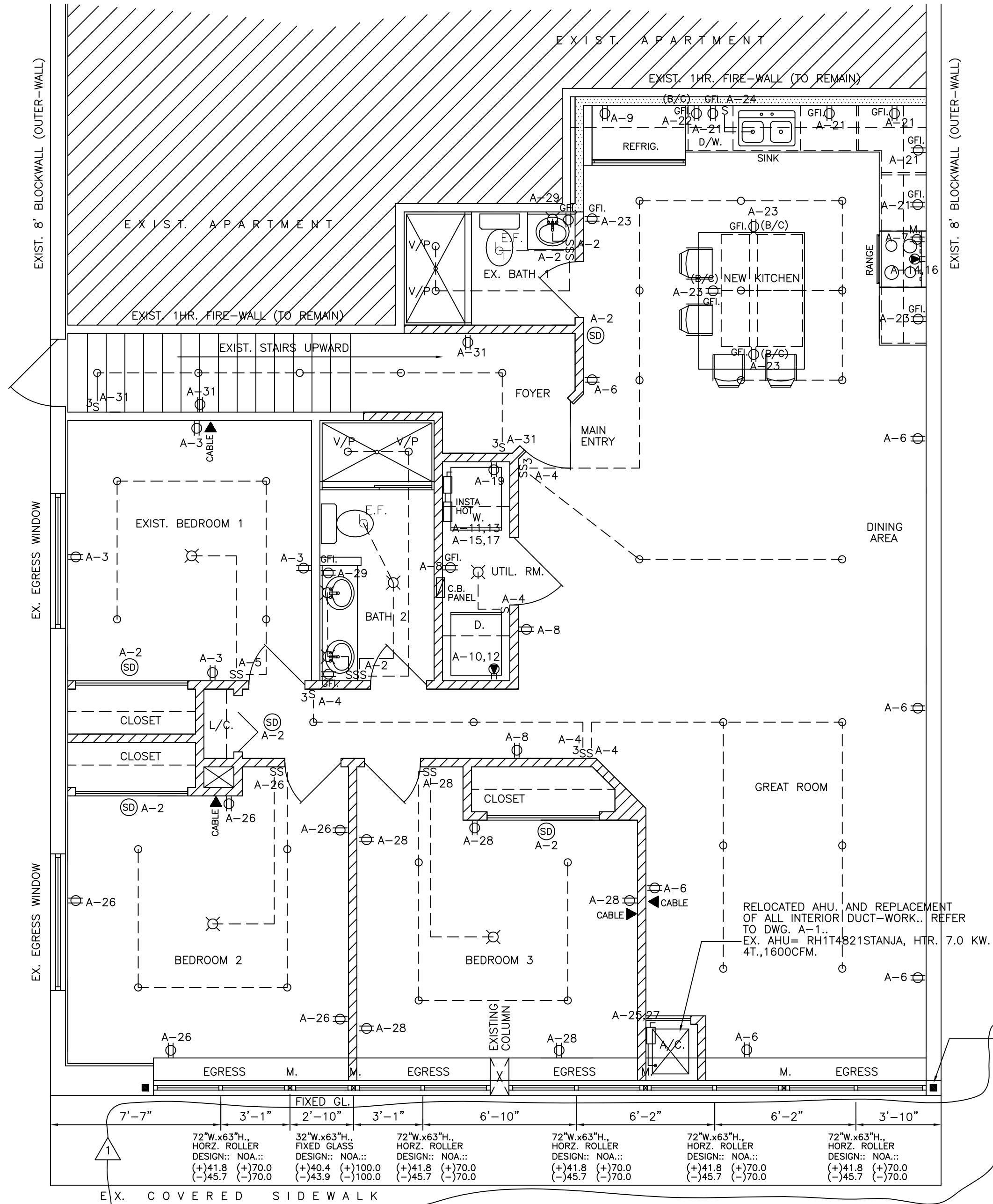
FOR::: 233 - UNIT "C", EAST COMMERCIAL BLVD.
FOLIO :: 4943-18-07-0420 , LAUDERDALE BY THE SEA , FL. 33308

Charles O. Buckalew
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801 South Ocean Drive, Suite 201
Hollywood , Florida 33019
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Tele. : (954) 558-1189 Fax. : (954) 929-8988



CHARLES O. BUCKALEW, P.E.
LICENSE NO. 24242

DATE	OCT., 2022
SCALE	1/4"=1'-0"
BY	C.R.W.
JOB	OC-2297
SHT	AC-1



2nd. FLOOR

ELECTRICAL AND LIGHTING - FLOOR PLAN

SCALE: 1/4"=1'-0"

- CONTRACTOR SHALL VERIFY WITH FP&L THE LOCATION OF SERVICE AND SHALL LOCATE METER AND PANELS AS REQUIRED.
- ALL WIRE SHALL BE THIN COPPER, UNLESS NOTED OTHERWISE.
- WHERE REQUIRED BY OTHER CODES, SERVICE AND FEEDER CONDUCTORS SHALL BE COPPER OF EQUAL AMPACITY.
- ALL BRANCH CIRCUITS IN RACEWAY OR NON METALLIC SHEATHED CABLE.
- COORDINATE RACEWAY INSTALLATIONS WITH OTHER TRADES PRIOR TO CONSTRUCTION.
- VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MANUFACTURER SPECIFICATIONS.
- PROVIDE DISCONNECT SWITCH OF SIZE AS REQUIRED BY LOAD AND UNITS.
- PROVIDE NON-FUSIBLE GENERAL DUTY SAFETY SWITCHES AT A/C EQUIPMENT AND AT PUMPS NOT VISIBLE FROM CIRCUIT BREAKER PANEL AND AS PER MANUFACTURER RECOMMENDATIONS.
- PROVIDE GFI BREAKERS FOR ALL BATHROOMS, GARAGE EXTERIOR OUTLETS AS SHOWN ON PLANS.
- ELECTRICAL FIXTURES, TRIM AND APPLIANCES SHALL BE UL APPROVED AND AS SELECTED BY OWNER.
- PROVIDE PRE-WIRED TELEPHONE OUTLETS AS SHOWN ON ELECTRICAL PLAN. PROVIDE PRE-WIRED T.V. OUTLETS FOR CABLE AS SHOWN ON PLANS.
- DEDICATED CIRCUITS SHALL HAVE NO MORE THAN 6 DUPLEX RECEPTACLES.
- IN KITCHENS, DINING ROOMS AND BATHROOMS, RECEPTAL OUTLETS FOR COUNTER SPACES SHALL BE GFI PROTECTED TAMPER-RESISTANT ACCORDING TO NEC 210-8(g).
- ALL CLOSET LIGHTING SHALL COMPLY WITH NEC SEC. 410.8.
- SMOKE DETECTORS SHALL BE CONNECTED TO KITCHEN OR BATH LIGHTING CIRCUITS AHEAD OF SWITCH AND HAVE SELF CONTAINED BATTERY BACK-UP. DETECTORS SHALL BE TANDEM WIRED SO ALL DETECTORS SOUND SIMULTANEOUSLY.
- PREWIRE FOR GARAGE DOOR OPENER SENSOR. (NOTE AS APPLICABLE)
- ALL OUTLET BOXES FOR RECEPTALS, TV ANTENNAS, OR TELEPHONE JACKS, ETC. IN RATED WALLS MUST BE METAL OR U.L. RATED FOR USE IN ONE HOUR FIRE RATED CONSTRUCTION.
- ALL ELECTRICAL WORK TO CONFORM TO THE NATIONAL ELECTRICAL CODE AND NFPA 70.
- ELECTRICAL CONTRACTOR TO CONFORM WITH BELL SOUTH REQUIREMENTS FOR TELEPHONE EQUIPMENT INSTALLATION
- CO-ORDINATE ALL CONDUIT RUNS AND EQUIPMENT INSTALLATION WITH OTHER TRADES TO AVOID CONFLICTS PRIOR TO FABRICATION, INSTALLATION, AND ERECTION.
- ELECTRICAL CONTRACTOR TO VERIFY ALL HVAC UNIT CONNECTIONS WITH HVAC CONTRACTOR PRIOR TO INSTALLATION. ALL A/C UNITS TO HAVE INTERNAL BREAKERS.
- ALL METERS, METER CENTERS AND DISCONNECTS TO BE APPROVED BY FP&L.
- MINIMUM WIRE SIZE SHALL BE #14 AWG INSULATION FOR WIRE SIZE #6 AND SMALLER SHALL BE THIN #4 AND LARGER SHALL BE THIN. ALL CONDUCTORS #10 AND SMALLER MAY BE SOLID #3 AND LARGER SHALL BE STRANDED (ROMEX USED AS APPROVED.)
- CIRCUIT LOCATION AND LOAD DATA ARE BASED UPON INFORMATION GIVEN TO THE ARCHITECT AT TIME OF DESIGN. CONTRACTOR SHALL VERIFY ALL EQUIPMENT AND PANEL SIZES AND SHALL PROVIDE CIRCUITS AND ROUTING OF CONDUITS TO SUIT JOB CONDITIONS.
- ALL 120V., 1 PHASE 15A AND 20A GARAGE AND EXTERIOR RECEPTACLES SHALL HAVE GROUND FAULT INTERRUPTER (GFI) PROTECTION.
- USE GFI CIRCUIT BREAKERS ON GFI RECEPTACLES.
- PROVIDE W.P. DISCONNECTS AT ALL A/C COMPRESSORS, SPRINKLER, POOL EQUIPMENT, AND WHIRLPOOL PUMPS.
- MAIN ELECTRICAL SERVICE TO BUILDING TO BE OVERHEAD (UNLESS NOTED OTHERWISE)

SYMBOL LEGEND :

TELE.(I) CABLE	▼	TELE. (INTERNET) JACK OR CABLE (LOCATION AS INDICATED)
Ø		20A., 120V. DUPLEX RECEPTACLE, GROUNDING TYPE U.O.N. MOUNTED 18" A.F.F. OR AS FIELD DIRECTED
●		SPECIAL PURPOSE RECEPTACLE (SEE PLAN)
E.F. ⌋		EXHAUST FAN (SEE PLAN FOR LOCATION)
⊗		CEILING FAN/LIGHT FIXTURE (SEE PLAN), 100W. MAX.
⊗		CEILING LIGHT OR EXTERIOR FIXTURE, 100W. MAX.
SD		SMOKE DETECTOR (TANDEM WIRED W/ BATTERY BACK-UP)
S		120/277V., 20A., SINGLE POLE LIGHT SWITCH
S ₃		120/277V., 20A., THREE-WAY LIGHT SWITCH
W.P.		INDICATES WEATHER-PROOF FIXTURE
V.P.		INDICATES VAPOR-PROOF FIXTURE
O.H.		INDICATES OVERHEAD FIXTURE AND/OR RECEPT.

NOTES :

- ALL LIGHT SWITCHES ARE TO BE INSTALLED 48" A.F.F.
- ALL ELECT., TELEPHONE/DATA, & CABLE OUTLETS TO BE INSTALLED 18" A.F.F., U.O.N.

Equipment	Rheem 4 Ton, 16.0 SEER				
Condensing Unit Model #	RA1648AJ1				
Air Handler Unit Model #	RH1T4821STANJA				
Heat Strips	7kw				
Fan Performance	1583 CFM @ .10 Static				
Total Cap.-	45500	Sensible Cap.-	33500	Latent Cap.-	12000
AHU Size	High- 53.43	Wide-	24.50	Deep-	21.00
Electrical Data	Model #	Phase / Volts	Fuse or HACR Circuit Breaker Max Amps	Comp. RLA	Comp. LRA
Condensing Unit	RA1648AJ1	1-60-208/230	30	14.1	77.0
AHU / Heater	7kw	1-60-208/230	50		

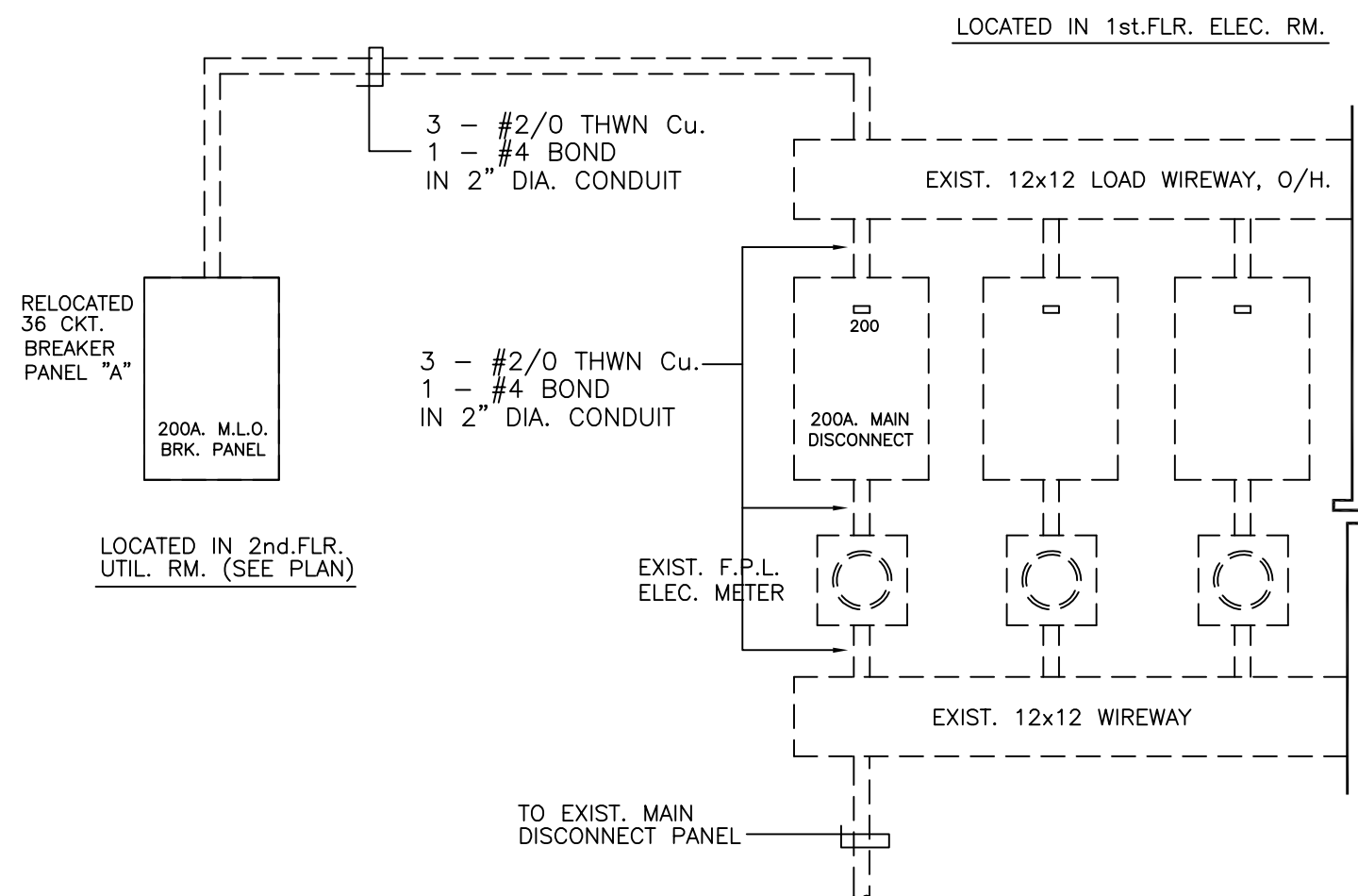
EXH. FAN (E.F.) = BROAN MODEL #XB80, 80CFM.
EXHAUST FAN
0.8 SONES, <0.3 SONES-7.6W.
VENT WITH 4" DUCT V.T.R.
(OR EQUAL)

CIRCUIT BREAKER PANEL "A" (36 CKT. PANEL)						
200A-120/240V., 1PH. A/C SYMM - 10,000						
CKT.	SERVICE	WATTS	TRIP	POLES	WIRE #	COND.
1	EXT. RECEPT'S. (W.P.GFI)	540	20	1	12	ROMEX
3	M. BEDRM (AFICP)	900	20	1	12	
5	M. BEDRM (AFICP)	380	20	1	12	
7	MICROWAVE (RECIRC., GFI-AFICP)	1500	20	1	12	
9	REFRIGERATOR (AFICP)	950	20	1	12	
11	RHEEM-27, INSTA-HOT (AFICP)	13500	60	2	6	
13						
15	RHEEM-27, INSTA-HOT (AFICP)	13500	60	2	6	
17						
19	WASHER (AFICP)	1000	20	1	12	
21	SMALL APPL. RECEPT. (GFI- AFICP)	1500	20	1	12	
23	SMALL APPL. RECEPT. (GFI- AFICP)	1500	20	1	12	
25	A.H.U. (7.0HT. STRIPS)	7000	50	2	10	
27						ROMEX
29	BATH RECEPT'S (GFI- AFICP)	720	20	1	12	ROMEX
31	STAIRWELL RECEPT'S/LIGHTS (AFICP)	1040	15	1	14	
33	SPARE	----	----	----	----	
35	SPACE	----	----	----	----	
2	BATH LIGHTS - SD. (AFICP)	900	20	1	12	ROMEX
4	KIT./LR./D.R./HALL LIGHTS (AFICP)	900	15	1	14	
6	LIVING RM. RECEPT. (AFICP)	720	15	1	14	
8	HALL RECEPT'S. (AFICP)	360	15	1	14	
10	CLOTHES DRYER (AFICP)	5000	30	2	10	
12						
14	RANGE & OVEN (AFICP)	12000	50	2	6	
16						ROMEX
18	* A.C.U. COMPRESSOR	4000	30	2	10	COND.
20						
22	DISHWASHER (AFICP)	1000	20	1	12	ROMEX
24	SINK DISPOSAL (AFICP)	400	20	1	12	ROMEX
26	BEDRM 2 (AFICP)	820	20	1	12	ROMEX
28	BEDRM 3 (AFICP)	820	20	1	12	ROMEX
30	SPARE	----	----	----	----	
32	SPARE	----	----	----	----	
34	SPARE	----	----	----	----	
36	SPACE	----	----	----	----	
TOTAL WATTS =		49,150				

* NON-CONCURRENT

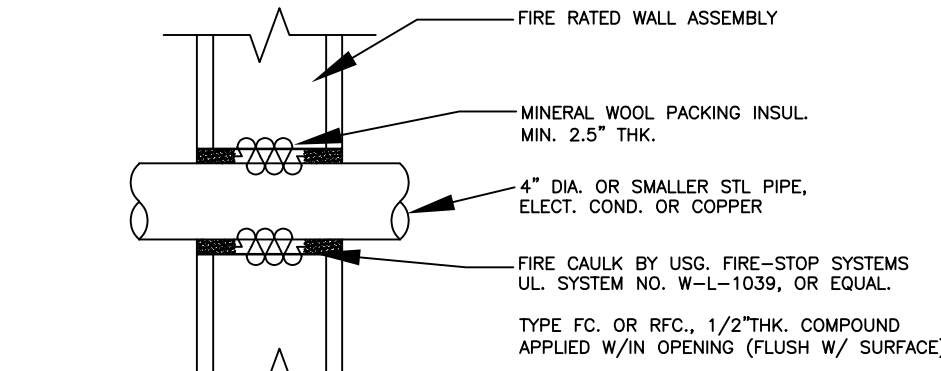
OPTIONAL CALCS. : TOTAL WATTS PER PANEL = 49,150

TOTAL WATTS LESS A/C = 41,150
1ST 10,000 @ 100% = 10,000
BAL 31,150 @ 40% = 12,460
A/C = 8,000
30,460/ 240 = 127.00 AMPS



EXIST. 200A. ELECTRIC SERVICE RISER

N.T.S.

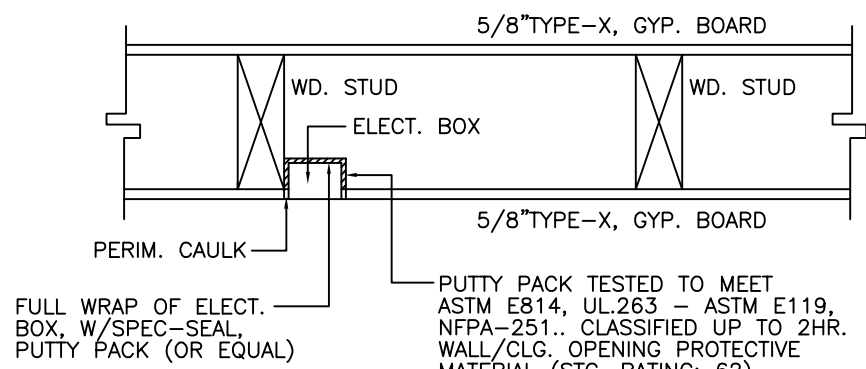


PENETRATIONS AT FIRE RATED WALL/CLG.

SCALE: N.T.S. U.L. SYSTEM NO. W-L-1039

PENETRATIONS AT FIRE-RATED WALLS/CLG.:

FIRE CAULK BY USG., FIRE-STOP SYTEM
U.L. SYSTEM NO. W-L-1039, OR EQUAL.
TYPE FC OR RFC, 1/2"THK. COMPOUND
APPLIED W/IN OPENINGS, FINISHED FLUSH
W/ RATED SURFACE



ELECT. BOXES AT FIRE RATED WALL/CLG.

SCALE: N.T.S.

NOTE: PUTTY PACK FOR USE WITH BOTH
METALLIC & NONMETALLIC OUTLET OR SWITCH
ELECT. BOXES INSTALLED IN GYP. WALLBOARD
FRAMED ASSEMBLIES.

ELECTRICAL NOTES :::

- ALL MATERIAL, PRACTICES, STANDARDS AND WORKMANSHIP, SHALL MEET THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE FBC, 2017, 6th. EDITION, NEC-2014, NFPA-72, 2012 AND THE NFPA-70-2012.
- A DISCONNECT SWITCH IS REQUIRED WITHIN SITE OF ALL HVAC. EQUIPMENT,, AS PLAN INDICATED. NEC-440.11.14
- TAMPER RESISTANT RECEPTACLES AND GFI. RECEPTACLES ARE REQUIRED THROUGHOUT FULL RESIDENCE.. NEC-406.11
- A MINIMUM OF 75% PERCENT OF LIGHTING FIXTURES SHALL BE OF HIGH-EFFICIENCY LAMPS..

REVISIONS	BY
09-08-22, REV. PER	CW.
ZONING REVIEW	

FOR::: 233 EAST COMMERCIAL BLVD. - AIRB-B

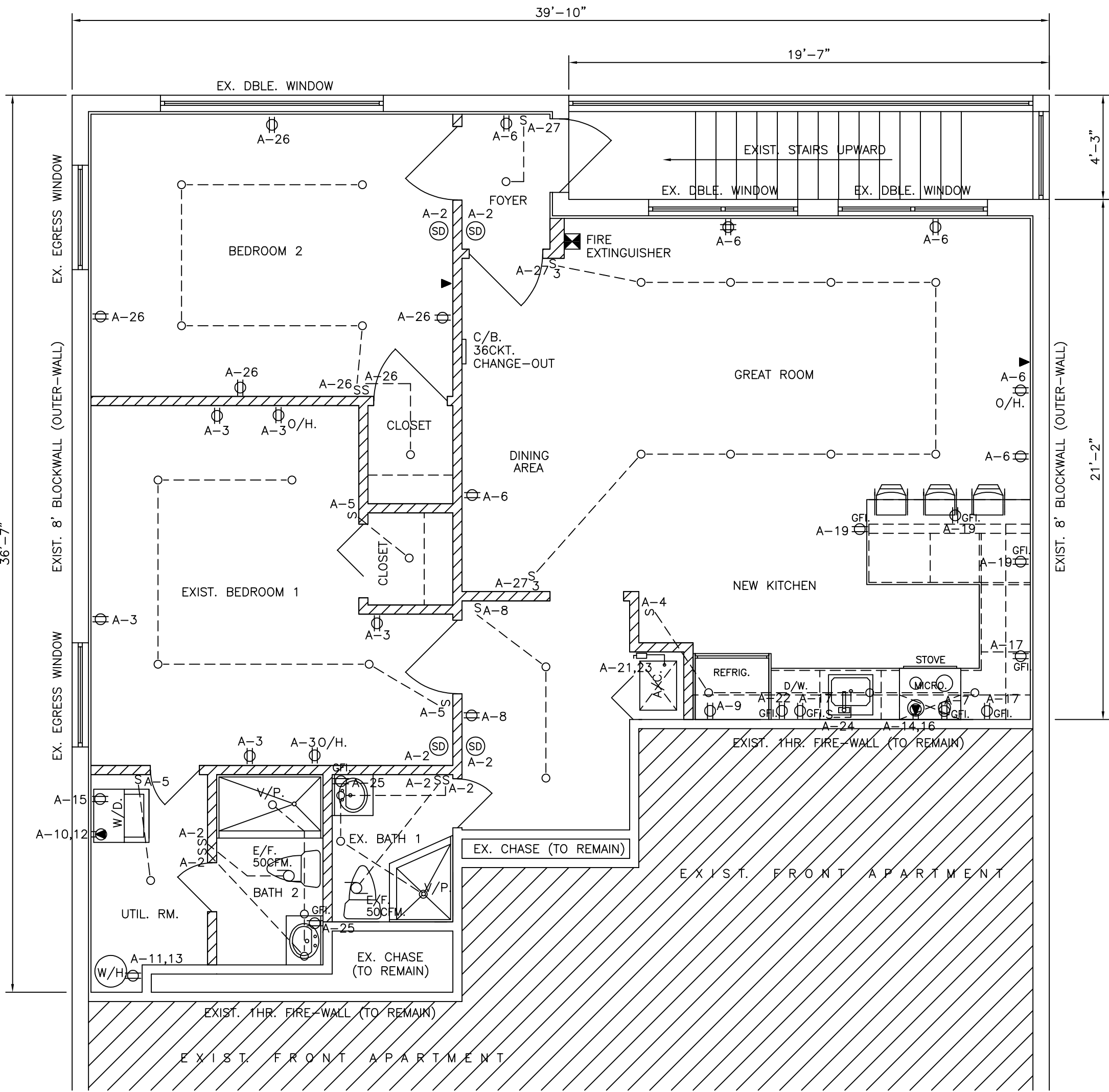
Charles O. Buckalew

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801 South Ocean Drive, Suite 201
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C.O.A. Number: 36255
Tele. : (954) 558-1189 Fax. : (954) 929-8988



CHARLES O. BUCKALEW, P.E.
FLORIDA REG. NO. 24964

DATE	DEC., 2019
SCALE	1/4"=1'-0"
BY	C.R.W.
JOB	DE-1997
SHT	E-1



2nd. FLOOR

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- SMOKE DETECTORS SHALL BE CONNECTED TO KITCHEN OR BATH LIGHTING CIRCUITS AHEAD OF SWITCH AND HAVE SELF CONTAINED BATTERY BACK-UP. DETECTORS SHALL BE TANDEM WIRED SO ALL DETECTORS SOUND SIMULTANEOUSLY.
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- MAIN ELECTRICAL SERVICE TO BUILDING TO BE OVERHEAD (UNLESS NOTED OTHERWISE)

SYMBOL LEGEND :

- | | | |
|-------------------|---|--|
| TELE.(.)
CABLE | ▼ | TELE. (INTERNET) JACK OR CABLE (LOCATION AS INDICATED) |
| Ø | | 20A., 120V. DUPLEX RECEPTACLE, GROUNDING TYPE U.O.N. MOUNTED 18" A.F.F. OR AS FIELD DIRECTED |
| ⚡ | | SPECIAL PURPOSE RECEPTACLE (SEE PLAN) |
| E.F. | σ | EXHAUST FAN (SEE PLAN FOR LOCATION) |
| ⌂ | | CEILING FAN/LIGHT FIXTURE (SEE PLAN), 100W. MAX. |
| ⌂ | | CEILING LIGHT OR EXTERIOR FIXTURE, 100W. MAX. |
| Ⓢ | | SMOKE DETECTOR (TANDEM WIRED W/ BATTERY BACK-UP) |
| S | | 120/277V., 20A., SINGLE POLE LIGHT SWITCH |
| S ₃ | | 120/277V., 20A., THREE-WAY LIGHT SWITCH |
| W.P. | | INDICATES WEATHER-PROOF FIXTURE |
| V.P. | | INDICATES VAPOR-PROOF FIXTURE |
| O.H. | | INDICATES OVERHEAD FIXTURE AND/OR RECEPT. |

NOTES :

- ALL LIGHT SWITCHES ARE TO BE INSTALLED 48" A.F.F.
- ALL ELECT., TELEPHONE/DATA. & CABLE OUTLETS TO BE INSTALLED 18" A.F.F., U.O.N.

Equipment	Rheem 3 Ton, 14.0 SEER		
Condensing Unit Model #	RP1436AJ1NA		
Air Handler Unit Model #	RBHP-21J06SH2		
Heat Strips	5kw		
Fan Performance	1157 CFM @ .10 Static		
Total Cap.-	Sensible Cap.- 33500	Latent Cap.- 12000	
AHU Size	High- 35.00	Wide- 24.50	Deep- 21.00

Electrical Data	Model #	Phase / Volts	Fuse or HACR Circuit Breaker Max Amps	Comp. RLA	Comp. LRA
Condensing Unit	RP1436AJ1NA	1-60-208/230	40	14.1	77.0
AHU / Heater	5kw	1-60-208/230	30		

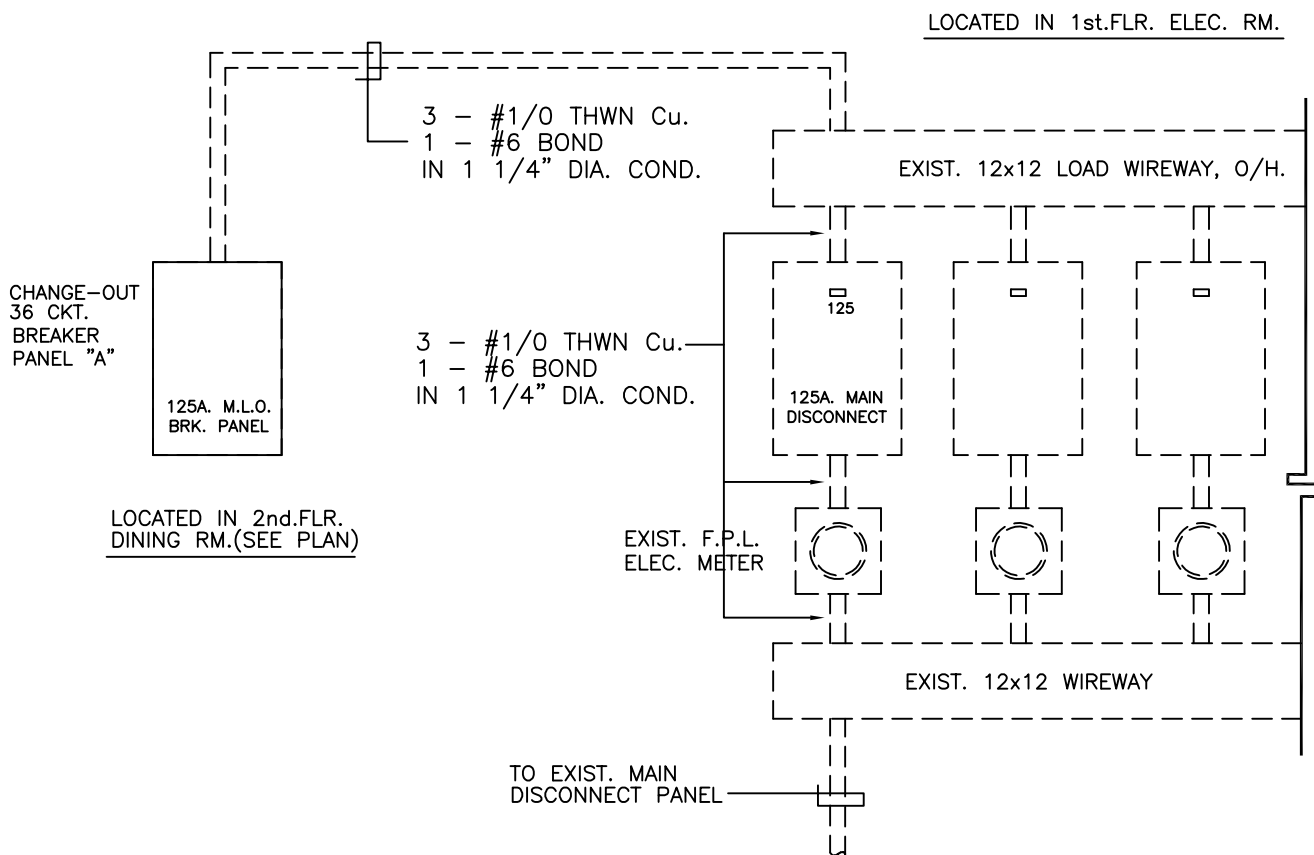
EXH. FAN (E.F.) = BROAN MODEL #688, 50CFM.
EXHAUST FAN
0.9AMPS- 4.0 SONES...
VENT WITH 4"ø DUCT V.T.R.
(OR EQUAL)

CIRCUIT BREAKER PANEL "A" (36 CKT. PANEL)						
125A-120/240V., 1PH. A/C SYMM - 10,000						
CKT.	SERVICE	WATTS	TRIP	POLES	WIRE #	COND.
1	EXT. RECEPT'S. (W.P.GFI)	540	20	1	12	ROMEX
3	M. BEDRM (AFICP)	1080	20	1	12	
5	M. BEDRM-UTILRM. (AFICP)	300	20	1	12	
7	MICROWAVE (RECIRC., GFI-AFICP)	1500	20	1	12	
9	REFRIGERATOR (AFICP)	950	20	1	12	
11	HOT WATER HEATER	5000	30	2	10	
13						
15	WASHER (AFICP.)	1000	20	1	12	
17	SMALL APPL. RECEPT. (GFI- AFICP)	1500	20	1	12	
19	SMALL APPL. RECEPT. (GFI- AFICP)	1500	20	1	12	
21	A.H.U. (5.0HT. STRIPS)	5000	30	2	10	
23						ROMEX
25	BATH RECEPT'S (GFI- AFICP)	360	20	1	12	ROMEX
27	ENTRY-LIVING RM. LIGHTS (AFICP)	800	15	1	14	
29	SPARE	----	----	----	----	
31	SPARE	----	----	----	----	
33	SPARE	----	----	----	----	
35	SPACE	----	----	----	----	
2	BATH LIGHTS - SD. (AFICP.)	750	20	1	12	ROMEX
4	KITCHEN LIGHTS (AFICP.)	300	15	1	14	
6	LIVING RM. RECEPT. (AFICP.)	1080	15	1	14	
8	HALL RECEPT'S-LIGHTS (AFICP.)	400	15	1	14	
10	CLOTHES DRYER (AFICP.)	5000	30	2	10	
12						
14	RANGE & OVEN (AFICP)	12000	50	2	8	
16						ROMEX
18	* A.C.U. COMPRESSOR	4000	40	2	8	COND.
20						
22	DISHWASHER (AFICP)	1000	20	1	12	ROMEX
24	SINK DISPOSAL (AFICP)	400	20	1	12	ROMEX
26	BEDRM 2 (AFICP)	820	20	1	12	ROMEX
28	SPARE	----	----	----	----	
30	SPARE	----	----	----	----	
32	SPARE	----	----	----	----	
34	SPARE	----	----	----	----	
36	SPACE	----	----	----	----	
TOTAL WATTS =		49,150				

* NON-CONCURRENT

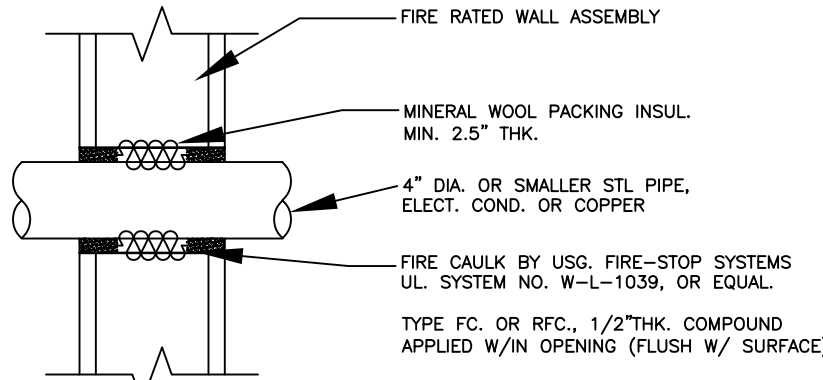
OPTIONAL CALCS.: TOTAL WATTS PER PANEL = 41,080

TOTAL WATTS LESS A/C = 36,080
1ST 10,000 @ 100% = 10,000
BAL 26,080 @ 40% = 10,432
A/C = 5,000
25,432/ 240 = 105.95 AMPS



EXIST. 125A. ELECTRIC SERVICE RISER

N.T.S.

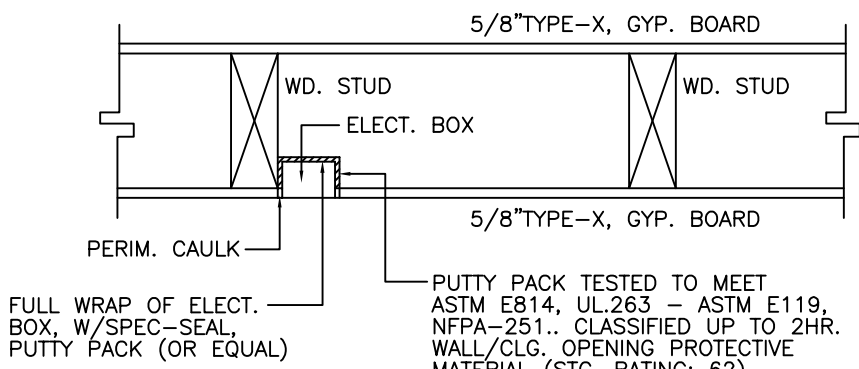


PENETRATIONS AT FIRE RATED WALL/CLG.

SCALE: N.T.S. U.L. SYSTEM NO. W-L-1039

PENETRATIONS AT FIRE-RATED WALLS/CLG.:

FIRE CAULK BY USG., FIRE-STOP SYTEMS U.L. SYSTEM NO. W-L-1039, OR EQUAL TYPE FC. OR RFC. 1/2THK. COMPOUND APPLIED W/IN OPENINGS, FINISHED FLUSH W/ RATED SURFACE



ELECT. BOXES AT FIRE RATED WALL/CLG.

SCALE: N.T.S.

NOTE: PUTTY PACK FOR USE WITH BOTH METALLIC & NONMETALLIC OUTLET OR SWITCH ELECT. BOXES INSTALLED IN GYP. WALLBOARD FRAMED ASSEMBLIES.

ELECTRICAL NOTES :::

- ALL MATERIAL, PRACTICES, STANDARDS AND WORKMANSHIP, SHALL MEET THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE FBC. 2020, 7th. EDITION, NEC.-2014, NFPA-72, 2012 AND THE FFPC.-2012..
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REVISIONS	BY

FOR::: 233 - UNIT "C", EAST COMMERCIAL BLVD.

FOLIO :: 4943-18-07-0420 , LAUDERDALE BY THE SEA , FL. 33308

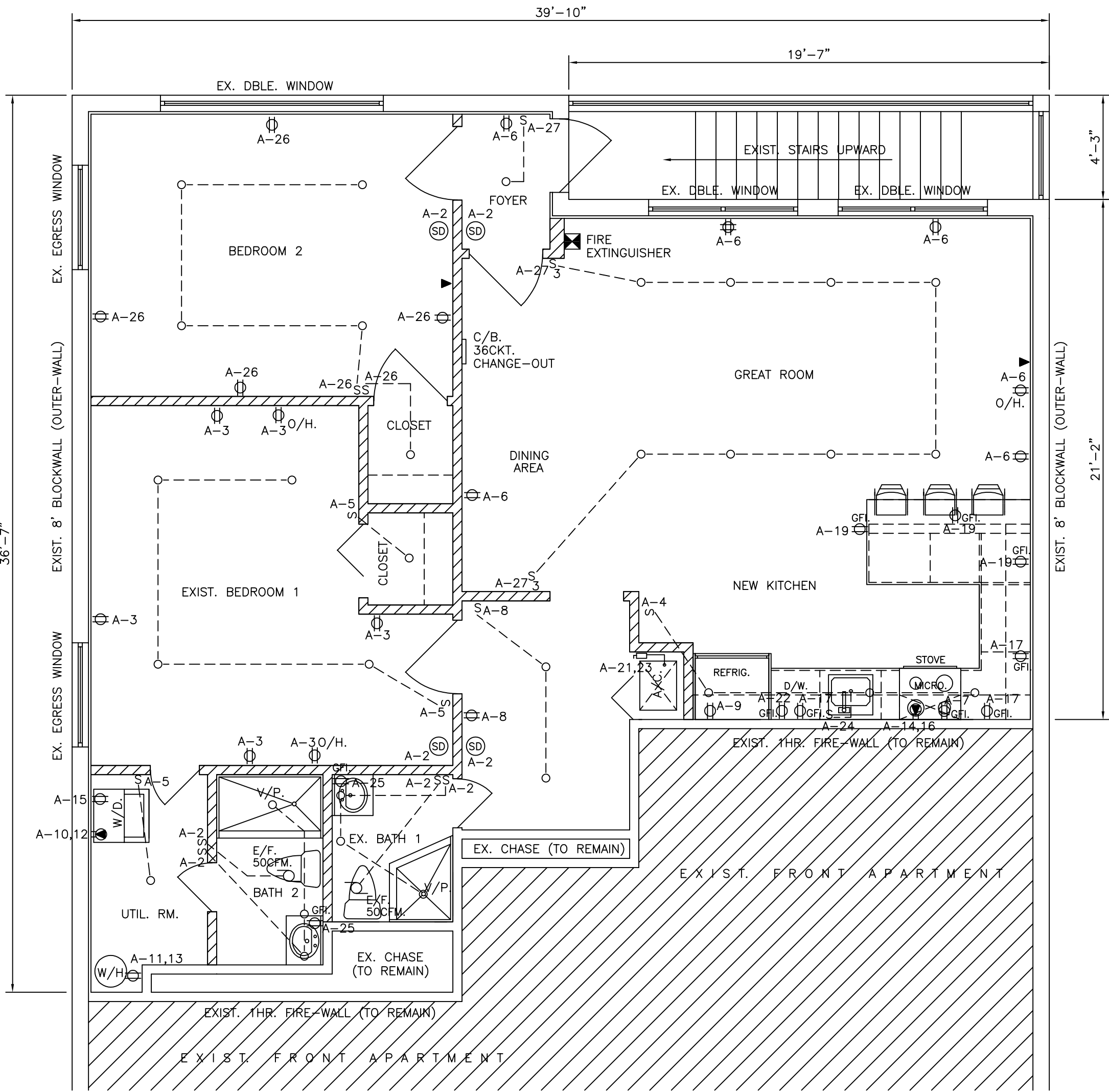
Charles O. Buckalew

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801 South Ocean Drive, Suite 201
Hollywood , Florida 33019
C.O.A. Number: 6265
Tele. : (954) 558-1189 Fax. : (954) 929-8988



CHARLES O. BUCKALEW, P.E.
FLORIDA REG. NO. 24942

DATE	OCT., 2022
SCALE	1/4"=1'-0"
BY	C.R.W.
JOB	OC-2297
SHT	E-1



2nd. FLOOR

ELECTRICAL AND LIGHTING - FLOOR PLAN

SCALE:: 1/4"=1'-0"

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- VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MANUFACTURER SPECIFICATIONS.
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- SMOKE DETECTORS SHALL BE CONNECTED TO KITCHEN OR BATH LIGHTING CIRCUITS AHEAD OF SWITCH AND HAVE SELF CONTAINED BATTERY BACK-UP. DETECTORS SHALL BE TANDEM WIRED SO ALL DETECTORS SOUND SIMULTANEOUSLY.
- PREWIRE FOR GARAGE DOOR OPENER SENSOR. (NOTE AS APPLICABLE)
- ALL OUTLET BOXES FOR RECEPTICALS, TV ANTENNAS, OR TELEPHONE JACKS, ETC. IN RATED WALLS MUST BE METAL OR U.L. RATED FOR USE IN ONE HOUR FIRE RATED CONSTRUCTION.
- ALL ELECTRICAL WORK TO CONFORM TO THE NATIONAL ELECTRICAL CODE AND NFPA 70.
- ELECTRICAL CONTRACTOR TO CONFORM WITH BELL SOUTH REQUIREMENTS FOR TELEPHONE EQUIPMENT INSTALLATION
- COORDINATE ALL CONDUIT RUNS AND EQUIPMENT INSTALLATION WITH OTHER TRADES TO AVOID CONFLICTS PRIOR TO FABRICATION, INSTALLATION, AND ERECTION.
- ELECTRICAL CONTRACTOR TO VERIFY ALL HVAC UNIT CONNECTIONS WITH HVAC CONTRACTOR PRIOR TO INSTALLATION. ALL A/C UNITS TO HAVE INTERNAL BREAKERS.
- ALL METERS, METER CENTERS AND DISCONNECTS TO BE APPROVED BY FP&L.
- MINIMUM WIRE SIZE SHALL BE #14 AWG INSULATION FOR WIRE SIZE #6 AND SMALLER SHALL BE THHN #4 AND LARGER SHALL BE THHN. ALL CONDUCTORS #10 AND SMALLER MAY BE SOLID #3 AND LARGER SHALL BE STRANDED (ROMEX USED AS APPROVED.)
- CIRCUIT LOCATION AND LOAD DATA ARE BASED UPON INFORMATION GIVEN TO THE ARCHITECT AT TIME OF DESIGN. CONTRACTOR SHALL VERIFY ALL EQUIPMENT AND PANEL SIZES AND SHALL PROVIDE CIRCUITS AND ROUTING OF CONDUITS TO SUIT JOB CONDITIONS.
- ALL 120V., 1 PHASE 15A AND 20A GARAGE AND EXTERIOR RECEPTACLES SHALL HAVE GROUND FAULT INTERRUPTER (GFI) PROTECTION.
- USE GFI CIRCUIT BREAKERS ON GFI RECEPTACLES.
- PROVIDE W.P. DISCONNECTS AT ALL A/C COMPRESSORS, SPRINKLER, POOL EQUIPMENT, AND WHIRLPOOL PUMPS.
- MAIN ELECTRICAL SERVICE TO BUILDING TO BE OVERHEAD (UNLESS NOTED OTHERWISE)

SYMBOL LEGEND :

TELE.(.) CABLE	▼	TELE. (INTERNET) JACK OR CABLE (LOCATION AS INDICATED)
Ø		20A., 120V. DUPLEX RECEPTACLE, GROUNDING TYPE U.O.N. MOUNTED 18" A.F.F. OR AS FIELD DIRECTED
⚡		SPECIAL PURPOSE RECEPTACLE (SEE PLAN)
E.F.	σ	EXHAUST FAN (SEE PLAN FOR LOCATION)
⌂		CEILING FAN/LIGHT FIXTURE (SEE PLAN), 100W. MAX.
⌂		CEILING LIGHT OR EXTERIOR FIXTURE, 100W. MAX.
Ⓢ		SMOKE DETECTOR (TANDEM WIRED W/ BATTERY BACK-UP)
S		120/277V., 20A., SINGLE POLE LIGHT SWITCH
S ₃		120/277V., 20A., THREE-WAY LIGHT SWITCH
W.P.		INDICATES WEATHER-PROOF FIXTURE
V.P.		INDICATES VAPOR-PROOF FIXTURE
O.H.		INDICATES OVERHEAD FIXTURE AND/OR RECEPT.

NOTES :

- ALL LIGHT SWITCHES ARE TO BE INSTALLED 48" A.F.F.
- ALL ELECT., TELEPHONE/DATA. & CABLE OUTLETS TO BE INSTALLED 18" A.F.F., U.O.N.

Equipment	Rheem 3 Ton, 14.0 SEER				
Condensing Unit Model #	RP1436AJ1NA				
Air Handler Unit Model #	RBHP-21J06SH2				
Heat Strips	5kw				
Fan Performance	1157 CFM @ .10 Static				
Total Cap.-	45500	Sensible Cap.-	33500	Latent Cap.-	12000
AHU Size	High- 35.00	Wide-	24.50	Deep-	21.00
Electrical Data	Model #	Phase / Volts	Fuse or HACR	Comp. RLA	Comp. LRA
			Circuit Breaker		
Condensing Unit	RP1436AJ1NA	1-60-208/230	40	14.1	77.0
AHU / Heater	5kw	1-60-208/230	30		

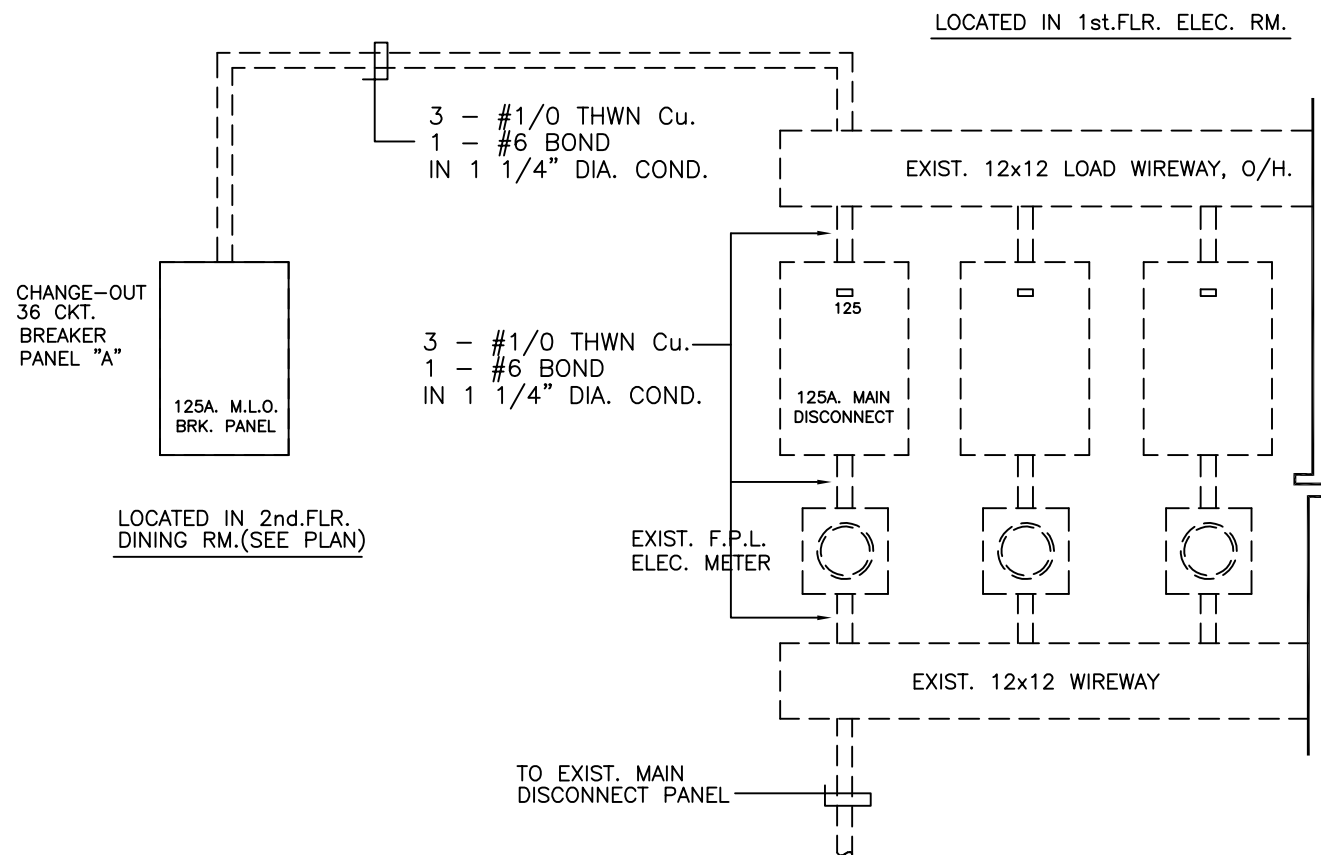
EXH. FAN (E.F.) = BROAN MODEL #688, 50CFM.
EXHAUST FAN
0.9AMPS- 4.0 SONES...
VENT WITH 4" Ø DUCT V.T.R.
(OR EQUAL)

CIRCUIT BREAKER PANEL "A" (36 CKT. PANEL)						
125A-120/240V., 1PH. A/C SYMM - 10,000						
CKT.	SERVICE	WATTS	TRIP	POLES	WIRE #	COND.
1	EXT. RECEPT'S. (W.P.GFI)	540	20	1	12	ROMEX
3	M. BEDRM (AFICP)	1080	20	1	12	
5	M. BEDRM-UTILRM. (AFICP)	300	20	1	12	
7	MICROWAVE (RECIRC., GFI-AFICP)	1500	20	1	12	
9	REFRIGERATOR (AFICP)	950	20	1	12	
11	HOT WATER HEATER	5000	30	2	10	
13						
15	WASHER (AFICP.)	1000	20	1	12	
17	SMALL APPL. RECEPT. (GFI- AFICP)	1500	20	1	12	
19	SMALL APPL. RECEPT. (GFI- AFICP)	1500	20	1	12	
21	A.H.U. (5.0HT. STRIPS)	5000	30	2	10	
23						ROMEX
25	BATH RECEPT'S (GFI- AFICP)	360	20	1	12	ROMEX
27	ENTRY-LIVING RM. LIGHTS (AFICP)	800	15	1	14	
29	SPARE	----	----	----	----	
31	SPARE	----	----	----	----	
33	SPARE	----	----	----	----	
35	SPACE	----	----	----	----	
2	BATH LIGHTS - SD. (AFICP.)	750	20	1	12	ROMEX
4	KITCHEN LIGHTS (AFICP.)	300	15	1	14	
6	LIVING RM. RECEPT. (AFICP.)	1080	15	1	14	
8	HALL RECEPT'S-LIGHTS (AFICP.)	400	15	1	14	
10	CLOTHES DRYER (AFICP.)	5000	30	2	10	
12						
14	RANGE & OVEN (AFICP)	12000	50	2	8	
16						ROMEX
18	* A.C.U. COMPRESSOR	4000	40	2	8	COND.
20						
22	DISHWASHER (AFICP)	1000	20	1	12	ROMEX
24	SINK DISPOSAL (AFICP)	400	20	1	12	ROMEX
26	BEDRM 2 (AFICP)	820	20	1	12	ROMEX
28	SPARE	----	----	----	----	
30	SPARE	----	----	----	----	
32	SPARE	----	----	----	----	
34	SPARE	----	----	----	----	
36	SPACE	----	----	----	----	
TOTAL WATTS =		49,150				

* NON-CONCURRENT

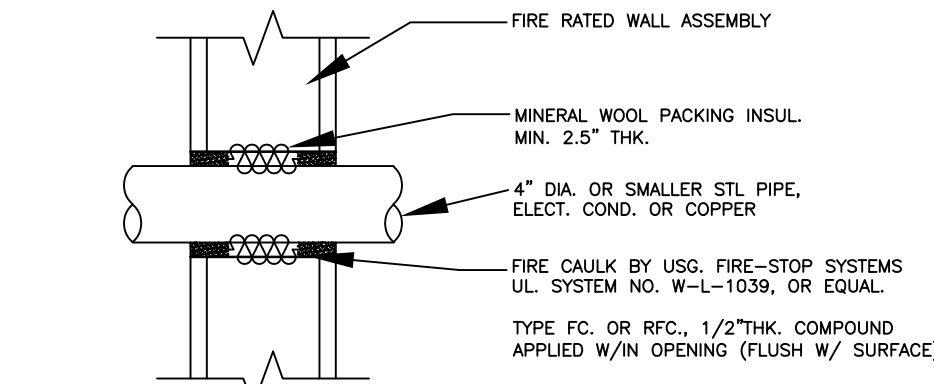
OPTIONAL CALCS.: TOTAL WATTS PER PANEL = 41,080

TOTAL WATTS LESS A/C = 36,080
1ST 10,000 @ 100% = 10,000
BAL 26,080 @ 40% = 10,432
A/C = 5,000
25,432/ 240 = 105.95 AMPS



EXIST. 125A. ELECTRIC SERVICE RISER

N.T.S.

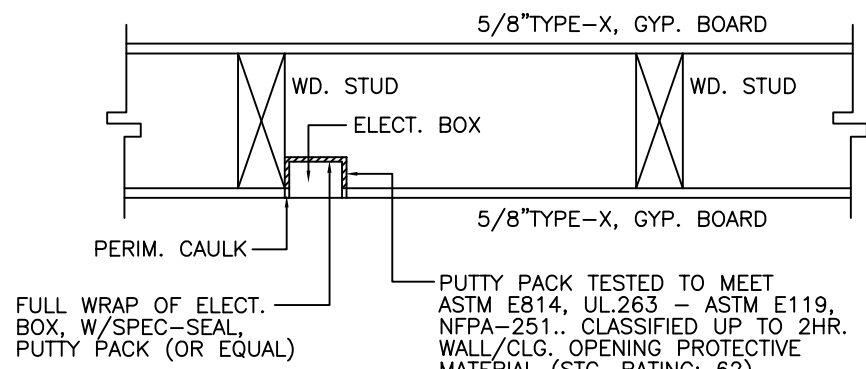


PENETRATIONS AT FIRE RATED WALL/CLG.

SCALE: N.T.S. U.L. SYSTEM NO. W-L-1039

PENETRATIONS AT FIRE-RATED WALLS/CLG.:

FIRE CAULK BY USG., FIRE-STOP SYTEMS
U.L. SYSTEM NO. W-L-1039, OR EQUAL.
TYPE FC. OR RFC. 1/2"THK. COMPOUND
APPLIED W/IN OPENINGS, FINISHED FLUSH
W/ RATED SURFACE



ELECT. BOXES AT FIRE RATED WALL/CLG.

SCALE: N.T.S.

NOTE: PUTTY PACK FOR USE WITH BOTH
METALLIC & NONMETALLIC OUTLET OR SWITCH
ELECT. BOXES INSTALLED IN GYP. WALLBOARD
FRAMED ASSEMBLIES.

ELECTRICAL NOTES :::

- ALL MATERIAL, PRACTICES, STANDARDS AND WORKMANSHIP, SHALL MEET THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE FBC. 2020, 7th. EDITION, NEC.-2014, NFPA-72, 2012 AND THE NFPA-70-2012..
- A DISCONNECT SWITCH IS REQUIRED WITHIN SITE OF ALL HVAC. EQUIPMENT,, AS PLAN INDICATED. NEC.-440.11.14
- TAMPER RESISTANT RECEPTACLES AND GFI RECEPTACLES ARE REQUIRED THROUGHOUT FULL RESIDENCE.. NEC.-406.11
- A MINIMUM OF 75% PERCENT OF LIGHTING FIXTURES SHALL BE OF HIGH-EFFICIENCY LAMPS..

REVISIONS	BY

FOR::: 233 - UNIT "C", EAST COMMERCIAL BLVD.
FOLIO :: 4943-18-07-0420 , LAUDERDALE BY THE SEA , FL. 33308

Charles O. Buckalew

Consulting Engineering Services, Inc.
801 South Ocean Drive, Suite 201
Hollywood , Florida 33019
C.O.A. Number: 6265
Tele. : (954) 558-1189 Fax. : (954) 929-8988



CHARLES O. BUCKALEW, P.E.
FLORIDA REG. NO. 24942

DATE	OCT., 2022
SCALE	1/4"=1'-0"
BY	C.R.W.
JOB	OC-2297
SHT	E-1



REVISIONS	BY
09-08-22, REV. ZONING REVIEW	PER CW.

FOR::: 233 EAST COMMERCIAL BLVD. - AIRB-B

Charles O. Buckalew

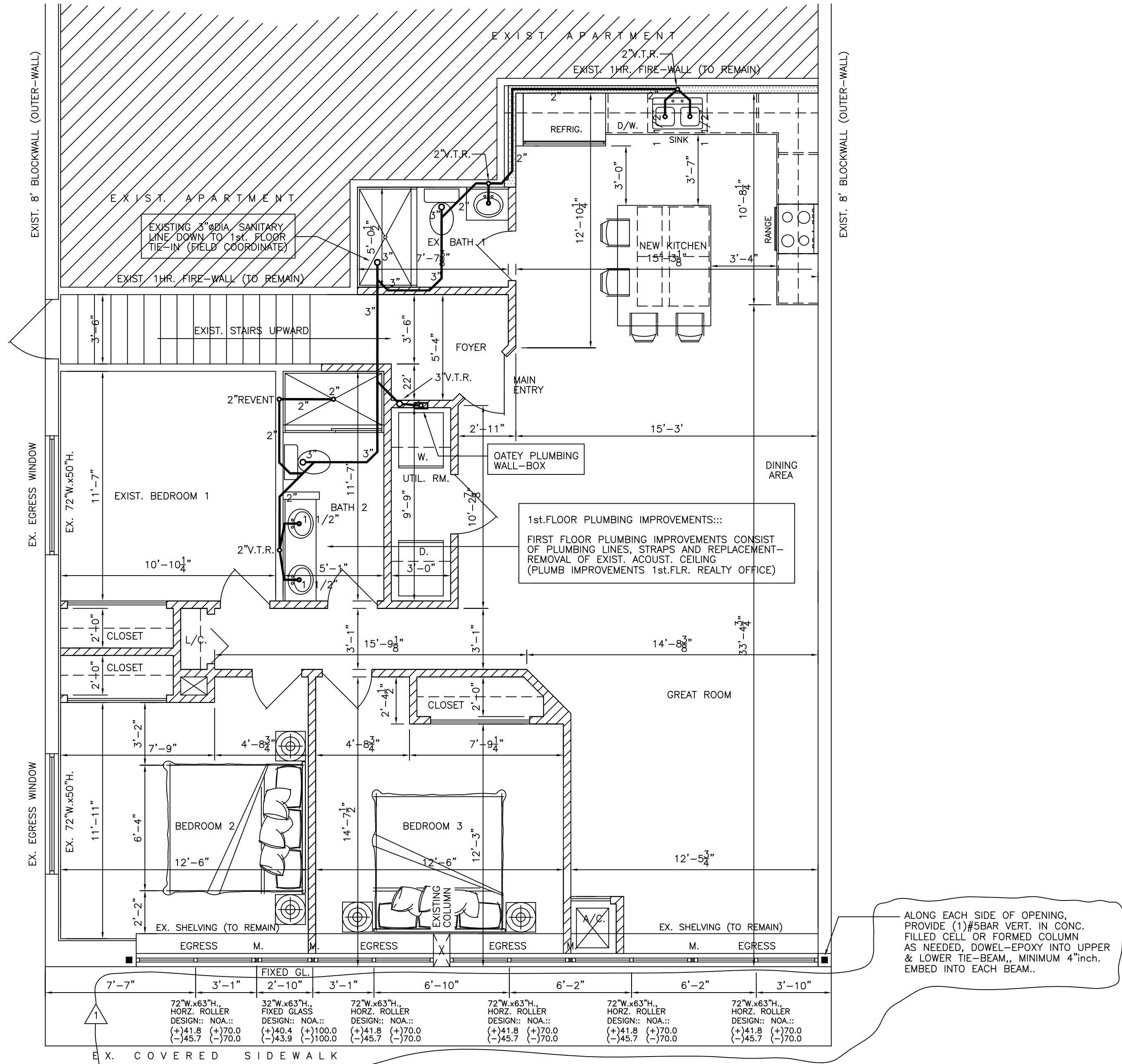
Consulting Engineering Services, Inc.
801 South Ocean Drive, Suite 201
Hollywood, Florida 33019
C.O.A. Number: 6255

Tele. : (954) 556-1189 Fax. : (954) 929-8988



CHARLES O. BUCKALEW, P.E.
FLORIDA REG. NO. 24842

DATE	DEC., 2019
SCALE	1/4"=1'-0"
BY	C.R.W.
JOB	DE-1997
SHT	P-1



2nd. FLOOR

PLUMBING - FLOOR PLAN

SCALE: 1/4"=1'-0"

GENERAL NOTES :

- ALL GLAZING IN TUB & SHOWER ENCLOSURES W/IN 60" OF FIN. FLR. ELEVATION OR FLOOR OF TUB AND/OR SHOWER TO BE SAFETY GLASS.
- ALL PLUMBING FIXTURES SHALL COMPLY WITH F.P.C., TABLE 604.4, MAX. FLOW RATES & CONSUMPTION.
- ALL TUB/SHOWER VALVES SHALL COMPLY WITH F.P.C., SECTION 424 (ANTI-SCALD AS REQ'D.)
- WATER HAMMER ARRESTORS SHALL BE INSTALLED AT ALL AUTOMATIC VALVES (KITCHEN & LAUNDRY)

PLUMB. FIXTURE NOTES :

- CONNECT DRAIN TO KITCHEN SINK TRAP-SIDE WITH FLEXIBLE TUBING.
- DRAIN & HOSE BIBBS (2) INSTALLED IN RECESSED WALL SERV. BOX.
- PROVIDE VACUUM BREAKER.
- PROVIDE ANTI-SCALD VALVE.
- 2" UNDER SLAB

FIXTURE NOTE :::

MAXIMUM FLOW RATES & CONSUMPTION FOR FIXTURES, FITTINGS AND APPLIANCES SHALL BE PER FPC. TABLE 604.4 / P2903.2

GENERAL PLUMBING NOTES :

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE INSTALLATION OF A COMPLETE PLUMBING SYSTEM IN ACCORDANCE WITH THESE DRAWINGS. THE APPLICABLE EDITION OF THE FLORIDA BUILDING CODE, ALL OTHER APPLICABLE STATE, COUNTY AND LOCAL ORDINANCES.
- THE CONTRACTOR SHALL PAY ALL COSTS OF PERMIT, INSPECTIONS AND ALL OTHER COSTS INCIDENTAL TO THE COMPLETION AND TESTING OF THIS WORK UPON FINAL ACCEPTANCE. A CERTIFICATE FROM THE LOCAL INSPECTION AUTHORITY SHALL BE FURNISHED TO THE OWNER.
- ALL MATERIALS AND EQUIPMENTS SHALL BE NEW OF U.S. MANUFACTURE AND OF GOOD QUALITY OF RESPECTIVE KIND AND GRADE, AND MUST BE FURNISHED SO AS TO PREVENT ANY DELAY IN THE PROGRESS OF THE WORK. ALL WORK THROUGH SHALL BE PERFORMED IN A WORKMANLIKE MANNER BY SUFFICIENT NUMBER OF SKILLED WORKMEN.
- CONTRACTOR SHALL VISIT THE SITE AND REVIEW ALL PERTINENT UTILITY DRAWINGS TO FAMILIARIZE HIMSELF WITH THE LOCATION OF ALL EXISTING AND/OR PROPOSED UTILITY STUB OUTS, PIPING, EQUIPMENT, ETC., AND MAKE DUE ALLOWANCES FOR ANY CONDITION EFFECTING HIS WORK.
- ALL UNDERGROUND SANITARY & STORM DRAINAGE PIPING AND FITTINGS SHALL BE PVC-DWV (ASTM D-2665/D-3034).
- ALL ABOVE GROUND SANITARY & STORM DRAINAGE BRANCH & VENT PIPES AND FITTINGS SHALL BE PVC-DWV (ASTM D-2665/D-3034).
- ALL UNDERGROUND WATER SERV. PIPING SHALL BE PVC. (ASTM D-2672) PER FBC. TABLE 605.3. ALL ABOVE GROUND PIPING SHALL BE COPPER (ASTM B-302) OR CPVC (ASTM D-2846) PER TABLE 605.4..
- ALL HOT WATER PRESSURE AND TEMPERATURE RELIEF PIPING SHALL BE COPPER PIPING (ASTM B-302) WITHIN 5'-0" TO AND FROM HOT WATER HEATER..
- ALL AIR CONDITIONING CONDENSATE DRAINAGE PIPING SHALL BE SCH. 40 PVC (ASTM D-2665), EXCEPT WHEN INSTALLED IN RETURN AIR PLENUM WHERE COPPER TYPE "DWV" OR EQUIVALENT MUST BE USED.
- ALL PLUMBING FIXTURES SHALL BE PROVIDED WITH ALL NECESSARY ACCESSORIES SUCH AS STOP VALVES, "P" TRAPS, SUPPORTS, P & T VALVES, ETC., AS REQUIRED. ALL EXPOSED PIPING AT FIXTURES AND EQUIPMENT SHALL BE CHROME PLATED BRASS PIPE OR TUBE. PROVIDE SHUT OFF VALVES AND UNIONS TO ALL FIXTURES, ETC., REQUIRING WATER SUPPLY. PROVIDE DIELECTRIC COUPLINGS AS REQUIRED. FOR ALL COPPER PIPING CONTRACTOR MUST USE LEAD FREE SOLDER. PROVIDE AIR CHAMBERS TO EACH FIXTURE AS REQUIRED.
- PROVIDE CLEAN OUTS (WITH ESCUTCHEONS AS REQUIRED) AT THE BASE OF ALL WASTE AND/OR VENT STACKS. PROVIDE PITCH PANS & LEADS FLASHING FOR ALL SANITARY SYSTEM VENTS.
- ALL DRAINING PIPES 2"Ø OR SMALLER TO BE SLOPED 1/4" PER FOOT.
- ALL DRAINING PIPES 3"Ø OR BIGGER TO BE SLOPED 1/8" PER FOOT.
- PLUMBING CONTRACTOR MUST VERIFY LOCATION OF PIPE LINES IN RELATION TO FOOTINGS AT FOUNDATION PLAN. IF THERE IS ANY CONFLICT MUST NOTIFY THE ARCHITECT OR ENGINEER PRIOR COMMENCING WORK.
- PLUMBING CONTRACTOR TO PROVIDE AIR CHAMBERS TO ALL PLUMB'G FIXTURES
- ALL FIRE RATED FLOOR & WALL PENETRATIONS SHALL BE PROPERLY PROTECTED FROM FIRE, SMOKE & WATER PENETRATION, BY FILLING VOIDS BETWEEN PIPE & WALL/FLOOR SLEEVES W/ FIRE-RATED FOAM, TO ACHIEVE THE SAME RATING AS WALLS OR FLOORS AS PART OF ANY PLUMBERS WORK.
- STUDOR MINI-MAX AIR ADMITTANCE VALVES/VENTS MAY BE USED AS AN ALTERNATE TO VENT PIPING THRU ROOF, WHERE ACCEPTABLE BY PLUMBING OFFICIAL AND AS LOCAL CODES DICTATE. INSTALL AS PER MANUF'S. SPECIFICATIONS.

Narrative in support of Conditional Use, Site Plan Modification, and Flexibility
Unit Allocation Permit Applications
233 E Commercial Blvd, Lauderdale-By-The-Sea FL, 33308

This narrative is to serve as supplementary information related to the conditional use, site plan modification and flexibility use allocation permit applications.

Summary of the project

Our property is located on 233 E Commercial Blvd, next to an area full of action where numerous people yearly either spend their vacation or look to move permanently. Due to this potential and since other buildings around the area already have mixed use, our proposal is to convert the property from a solely commercial use to a mixed use. Most specifically, the building consists of the ground floor where two successful business are operating (Laspadas Hoagies and realty office, By the Sea Vacation Villas) and the second floor which currently consists of two empty units. We intend to make two residential units above the commercial units.

Section 30-126, Conditional use review, requires that the application satisfy specific criteria as noted in 30-126(d). We believe that the application meets the criteria as follows:

1. The proposed use will be harmonious and appropriate for current and future adjacent uses and with respect to the high standards of the Town of Lauderdale-By-The-Sea.
 - i. The proposed use would be compatible with the existing and future land uses in the vicinity. Numerous buildings around the area and even in the specific plaza accommodate commercial uses on the ground floor and residential units above.
 - ii. According to section 3- 271 (B-1 zoning district), since the building is located within 250 feet of Commercial Blvd it is eligible for the proposed use. Additionally, the residential floor area of the mixed use area will not exceed the 50 percent of the gross floor area of the building, exactly half of the building will be turned into residential use. The height of the building of course remains as is.
 - iii. In terms of the parking requirements, the minimum of one parking space per residential unit is provided on site. The other two parking spaces which are required have been credited to us by the Town through the prior use of the second floor.
 - iv. The use will not have an adverse effect on the noise levels and outdoor lighting. In terms of the traffic generation it would be less than the current commercial use.

- v. The use will not have an adverse effect on light and air.
 - vi. The use will not include any new setbacks and buffers such as fences, walls landscaping and open space.
 - vii. The use will not have an adverse effect on the character of the surrounding area. Driven by the statement of LBTS- ADS which specifies that “Building façade should maintain the integrity of the original design and style” the permit for the replacement of the windows has been made in accordance to Town’s design standards, in order to maintain the Mid- Century Modern (MCM) character of the town.
 - viii. The proposed use will not have any additional signs or lighting that will have an adverse effect on the surrounding areas or vehicular traffic.
2. There is sufficient site size, and infrastructure to accommodate the proposed use. No changes will be made on the exterior of the building. In the interior the two units are carefully designed to provide enough space to the future tenants/ guests.
 3. The conditional use will comply with environmental, zoning, concurrency and other applicable regulations of this Code of Ordinances and will be consisted with the Comprehensive Plan.
 4. Granting the permit would not constitute a nuisance or be injurious or detrimental to the public interest, health safety, convenience or welfare or materially injurious to persons, property, or improvements in the vicinity and zoning district in which the property is located.

Collectively, the proposed use will not constitute a nuisance, be injurious or detrimental to public interests as it is similar to existing land uses on adjacent parcels. In fact, potential tenants or guests will contribute to local businesses’ welfare and due to the building’s proximity to the beach will “promote the health and well being of residents by encouraging physical activity, alternative transportation and greater social interaction” (Section 3-271 B-1 zoning district)

We respectfully request approval of the conditional use, site plan modification, and flexibility unit allocation based on the facts presented.

Mixed Use Requirements

Sec. 30-271. B-1 district—Business.

(i) *Specific conditional use requirements.*

- (3) *Mixed use requirements.* The following provisions govern applications for approval of "mixed use" development as a conditional use in the B-1 district.

- a. *Purpose.* The purpose of encouraging mixed use development is to:
 1. Accommodate mixed use buildings with neighborhood-serving retail, service, and other commercial uses on the ground floor, and residential units above the non-residential space;
 2. Encourage development that exhibits the physical design characteristics of pedestrian-oriented, storefront-style shopping streets; and
 3. Promote the health and well-being of residents by encouraging physical activity, alternative transportation, and greater social interaction.
- b. *Mixed use development on commercially designated parcels.* The Town may approve a conditional use for mixed use development on B-1 zoned property when the property has a commercial land use designation in the Broward County Land Use Plan, if all of the following requirements are met:
 1. Flexibility units are available, in accordance with section 30-100, Flexibility rules, of the Town Code;
 2. The number of units and floor area limitations of this section are satisfied for the residential uses; and
 3. The property is located within 250 feet of Commercial Boulevard measured by airline measurement from the Commercial Boulevard right-of-way line. If any portion of a property lies within the 250-foot measurement, the whole property shall be eligible for mixed use development.
- c. *Limitations on residential uses.*
 1. *Maximum number of units.* No mixed use development may be assigned more than ten percent of the flexibility units in its flexibility zone. If ten percent of the units is not a whole number, it shall be rounded up to the next whole number.
 2. *Limitations on location of uses.*
 - i. Non-residential use or space is prohibited on or above any floor which contains any residential use or space.
 - ii. Residential use or space is prohibited on the ground floor.
 3. *Floor area and lot coverage.*
 - i. The residential floor area of the mixed use development shall not exceed 50 percent of the gross floor area of the building.
 - ii. No building which includes residential uses shall occupy an area greater than 70 percent of the entire lot.
 - iii. The required lot area per apartment or kitchen unit shall be not less than 800 square feet. The required floor area per apartment or kitchen unit shall not be less than 250 square feet minimum.

- iv. The required floor area for a hotel room shall not be less than 200 square feet.
- 4. *Affidavit of understanding.* Residential uses located east of A1A must include an affidavit of understanding, in a form acceptable to the Town Attorney regarding special event activity, street closures and noise ordinance waivers that periodically takes place downtown.
- 5. *Lease notice requirement.* Residential uses east of State Road A1A must include the following notice to all tenants in all leases and contracts:

This unit is located in the core of downtown Lauderdale-By-The-Sea. Special event activities periodically take place in this area on the streets directly below this unit. On any given occasion, street closures may take place and the noise ordinance may be waived. Such circumstances and inconveniences are accepted as part of this agreement.
- 6. *Rental restrictions.* Dwelling units that are used for rental purposes shall be limited as follows:
 - i. On properties with less than four dwelling units, short term rentals are permitted as an accessory use if a rental certificate is first obtained pursuant to section 30-327; or
 - ii. On properties located west of Seagrape Drive with more than four dwelling units, a minimum residency of 120 consecutive days is required.
- d. *Parking requirements.*
 - 1. The total number of required off-street parking spaces for a mixed use development shall be equal to the sum of the required parking for each use as if provided separately.
 - 2. A minimum of one parking space per residential unit must be provided on-site.
 - 3. For a unit that combines both residential and non-residential uses, the total required parking will be equal to the parking required for the non-residential use only. See sections 30-314 through 30-324 regarding off-street parking.
- e. *Landscaping and open space requirements.* Mixed use developments shall be required to meet the vehicular use area requirements as provided in article VII, Landscape Code, of chapter 30, Unified Land Development Regulations, for non-residential uses.

DIVISION 3. - CONDITIONAL USE PROCEDURES AND REQUIREMENTS

Sec. 30-126. - Conditional uses review.

a. Defined. A conditional use is a use that could not be appropriate without restriction throughout the ward or district but which is considered to be appropriate when a conditional use permit is issued to the neighborhood or is issued with conditions that protect the public health, safety or general order and welfare of the neighborhood.

b. Intent, purpose and effect. The purpose of this section is to ensure that a conditional use should be permitted on a site if it is provided in a particular zoning district or is provided in this code where the proposed use can be demonstrated to be consistent with the general character of the properties and uses within the immediate vicinity.

This section sets forth the procedures and criteria for reviewing conditional uses on a site. A conditional use is considered to be permitted on a site if it is shown that the proposed use satisfies the criteria of this section and other requirements of this code.

A conditional use does not eliminate the need for other requirements which may be required under this code or other codes but is limited to the site review.

c. Application. A conditional use application shall provide the information required by the DOD.

1. The applicant shall meet the requirements of section 30-127 and

2. The applicant shall submit a plan for each conditional use

3. The applicant shall submit

4. The applicant shall submit a plan for each conditional use

5. The applicant shall submit a plan for each conditional use

6. A description of the site and the proposed use shall be submitted to the Board of Commissioners for review and approval. The Board shall also receive a copy of the application and the proposed use.

d. Specific criteria for approving a conditional use. A conditional use shall be permitted on a site if the Board of Commissioners finds that the proposed use is consistent with the following criteria or if the Board of Commissioners finds that the proposed use does not meet the criteria hereinafter provided or if the Board of Commissioners finds that the proposed use does not meet the criteria hereinafter provided or if the Board of Commissioners finds that the proposed use does not meet the criteria hereinafter provided. The Board of Commissioners shall also receive a copy of the application and the proposed use. The Board of Commissioners shall also receive a copy of the application and the proposed use. The Board of Commissioners shall also receive a copy of the application and the proposed use.

1. **Land use compatibility.** The conditional use shall be consistent with the general character of the neighborhood and shall not be incompatible with the general character of the neighborhood.

For purposes of this section, compatibility is defined as a condition in which two or more uses or conditions can exist in relative proximity to each other in a stable manner over time such that no use or condition is unduly restrictive or is directly or indirectly to another use or condition. Compatibility shall also be defined as a condition in which a use or condition is not directly or indirectly to another use or condition. The Board of Commissioners shall also receive a copy of the application and the proposed use. The Board of Commissioners shall also receive a copy of the application and the proposed use. The Board of Commissioners shall also receive a copy of the application and the proposed use.

is permitted on a site if it is consistent with the general character of the neighborhood.

Sec. 30-100. - Flexibility rules.

flexibility rules are the Terms to receive and rearrange and are within a flexibility zone and the determined reidentified units are the properties defined for the period in the Board report and are without requiring an end to that definition.

1 Definitions.

a Flexibility zones: flexibility zones are fixed according to the Terms defined in the Board report and are which provide in it the number of additional units and additional units per acre which can be permitted by the Terms rehearse.

b Flexibility units: flexibility units are the total number of additional reidentified units permitted by the Board report and are based on the total number of units within the flexibility zone by the Terms rehearse.

c Determination of available flexibility units. The Terms Manager or designee shall determine the number of available flexibility units in each flexibility zone the number of flexibility units allowed to occur within each zone and within the Terms and the report for flexibility units to occur.

d Assignment of flexibility units. The subject number of flexibility units are available the Terms of the flexibility units or fixed the determined in the B1 or B1.1 zoning district provided in section 30-100 and 30-101 provided that the flexibility rules and regulations are set and other available require to another of the code are set.

(Ord. No. 2014-08, § 3, 7-7-2014; Ord. No. 2017-01, § 2, 1-16-2017; Ord. No. 2017-03, § 2, 3-28-2017)

Parking Requirements

Sec. 30-318. - Minimum parking requirements.

(b) *Business, professional and governmental offices:* Parking space requirements vary depending on the size in gross leasable area (GLA) according to the following table:

Office Size (GLA)	1 Space for Each (Square Feet)
Less than 5,000	250

(m) *Multiple-family dwellings:* One and one-half parking spaces for each unit with less than three bedrooms, and two parking spaces for each unit with three or more bedrooms, plus one guest space for every five units. If, in addition to dwelling units, there are other uses operated in conjunction with and/or as a part of the multiple dwelling, additional off-street parking spaces shall be provided for such other uses as would be required by this section, if such uses were separate from the multiple dwelling.

(r) *Restaurants, including sandwich shops, coffee shops, and any establishment or portion of an establishment dedicated to preparing and serving food to the public:* One parking space for each 50 square feet of gross floor area excluding food preparation areas, drink preparation areas, bathrooms, storage areas, and other areas not directly utilized by the public in patronizing such establishments

Sec. 30-314. - Off-street parking; general requirements.

a Purpose. The purpose of the provisions of this section is to provide off-street parking provisions which are intended to be in the interest of the citizens of the Town of Woodbury. The provisions of this section shall be considered to be the minimum required for the protection of the public health, safety and general welfare of the town of Woodbury.

b Scope.

1. All buildings constructed or reconstructed with the Town of Woodbury after March 1, 2001 shall provide off-street parking facilities in accordance with the provisions of this section for the use of the building's occupants and/or patrons thereof. Each off-street parking facility shall be designed and located so as to be as convenient as possible.
2. All buildings constructed or reconstructed prior to the effective date of this section need not provide additional off-street parking facilities in accordance with the provisions of this section provided that each existing building or structure is not altered so as to enlarge or increase the building's area or use thereof.
3. If an existing building or structure is expanded to increase the area or use or to otherwise increase the capacity of the building or structure, the provisions of this section shall apply to the increased area or use or to the increased capacity.
4. If an existing building or structure is changed in use to a use which would require more off-street parking pursuant to these provisions than the area or use of the building or structure credit for the off-street parking is attributable to the area or use pursuant to these provisions, then the area or use of the building or structure shall be subject to these provisions.
5. The provisions of this section shall not be applied to any of the order, expansion and reconstruction of existing buildings and structures, additional reconstruction or expansion in any direction or capacity or a change in use are considered to serve other actions or the provisions of this section shall not be applied to these actions.
6. It shall be the responsibility of the owner or operator of a building or structure to provide the required parking facilities. If the building or structure is altered or reconstructed or reconstructed without establishing adequate parking facilities which meet the requirements of this section, then the building or structure shall not be considered to be in compliance with the Town of Woodbury or its policies. It shall be the responsibility of the owner or operator of a building or structure to provide the required parking facilities to meet the requirements of this section.
7. If an existing building or structure is altered or reconstructed, the building or structure shall be subject to the provisions of this section and shall be subject to the provisions of this section and shall be subject to the provisions of this section and shall be subject to the provisions of this section.

(Ord. No. 361, 3-14-95; Ord. No. 2007-14, § 2(Exh. A), 9-25-07; Ord. No. 2011-02, § 2, 3-22-2011; Ord. No. 2014-13, § 2, 10-28-2014)

Sec. 30-315. - Requirements for general commercial uses.

- a Fractional measurements.** If an owner or operator of a building or structure is required to provide off-street parking, the required parking shall be provided in accordance with the provisions of this section and shall be subject to the provisions of this section.
- b Mixed uses.** If the use of a building or structure is a mixed use, the required parking shall be the sum of the required parking for each use. The required parking for each use shall be considered as provided the required parking for each use except where a shared parking lot is provided by the Town of Woodbury as provided in section 30-314.

Measurement. For the purpose of these regulations are shown on the front yard are inside the exterior walls

(Ord. No. 361, 3-14-95; Ord. No. 2007-14, § 2(Exh. A), 9-25-07; Ord. No. 2011-02, § 2, 3-22-2011)

Sec. 30-316. - Plans.

Plans shall be submitted with every application for a building permit for any new or structure required to provide a street front yard under these regulations which shall show and accurately depict the required front yard setbacks, side and drive setbacks, and exit/entrance driveway widths, curb and curb setbacks, a criterion and there shall be relation to the use or structure the site or lot is intended to be used to be determined in accordance with the site use design criteria included in Section 30-317 of the Town Code.

(Ord. No. 361, 3-14-95; Ord. No. 2007-14, § 2(Exh. A), 9-25-07; Ord. No. 2011-02, § 2, 3-22-2011; Ord. No. 2014-13, § 2, 10-28-2014)

Sec. 30-317. - Design standards.

a. The side of the lot set back yard shall be as follows:

Side lot setback 10

Front lot setback 10

Side lot setback 10

Front lot setback 10

Neighborhood street vehicle setback 11

Township of the street setback 10 for each vehicle with a 10' wide lot setback for vehicle setback

Front lot setback 10

b. A 10' wide lot setback shall be provided for each vehicle with a 10' wide lot setback for vehicle setback and the width is provided by the Town of the lot

c. Front lot setback and design criteria is provided in Section 30-317 of the Town Code.

d. Plans shall be provided with a plan for each lot showing the location of the vehicle setback or setback or setback to adjacent structure or adjacent street

e. Composition and amortization.

1. Backyard and a minimum of 10' wide lot setback shall be provided for each vehicle with a 10' wide lot setback for vehicle setback and the width is provided by the Town of the lot

2. Residential lot setback shall be provided for each vehicle with a 10' wide lot setback for vehicle setback and the width is provided by the Town of the lot

3. A minimum of 10' wide lot setback shall be provided for each vehicle with a 10' wide lot setback for vehicle setback and the width is provided by the Town of the lot

Drainage. Front lot setback shall be provided for each vehicle with a 10' wide lot setback for vehicle setback and the width is provided by the Town of the lot

ccc **Identification.** Each parking space required and provided pursuant to the provisions of these sections shall be distinguished and separated from adjacent parking spaces by a line at three inch spaced intervals. It shall be the responsibility and obligation of the owner or operator of any building, structure or lot created by these sections to install each identification or space so that parking spaces at all times are distinguishable from one another.

ddd **Back-out parking prohibited.** Parking facilities that require a motor vehicle to exit the parking space back onto State Road #1 shall be prohibited for spaces designated and redesignated pursuant to properties adjacent to State Road #1 under provisions of this section. "Back-out parking" shall be defined as the construction and building or parking lot with a street or cleared street or driveway. "Redesignated" shall be defined as alterations that result in the designation and are then subject to the total existing ground area building area of the site.

eee **Lighting.** On-street parking facilities shall provide minimum redesignated spaces to maintain eight or more feet of light and parking spaces redesignated paved or used properties shall be illuminated in accordance with the minimum standards.

fff For the purpose of this subsection, any parking area shall include the parking space of any parking lot and any area thereto of grade level, including parking facilities shall include a minimum standard space and existing grade level, including parking facilities.

ggg **Integrity of signage**

aaa On-street parking areas shall provide an average illumination intensity of one foot-candle except for the area where the area shall be distributed on the street and the area shall be distributed on the street and the area shall be distributed on the street and the area shall be distributed on the street.

bbb On-street parking areas shall provide an average illumination intensity of one foot-candle at the entrance to the area, including the area and the area shall be distributed on the street and the area shall be distributed on the street.

ccc On-street parking areas shall provide an average illumination intensity of one foot-candle at the entrance to the area, including the area and the area shall be distributed on the street and the area shall be distributed on the street.

ddd The correct edition of the 100 Light Handbook published by the Illumination Society of America shall be the standard to be used by the architect or engineer for the design and testing of lighting.

eee On-street parking areas shall provide an average illumination intensity of one foot-candle at the entrance to the area, including the area and the area shall be distributed on the street and the area shall be distributed on the street.

fff On-street parking areas shall provide an average illumination intensity of one foot-candle at the entrance to the area, including the area and the area shall be distributed on the street and the area shall be distributed on the street.

ggg On-street parking areas shall provide an average illumination intensity of one foot-candle at the entrance to the area, including the area and the area shall be distributed on the street and the area shall be distributed on the street.

hhh **On-street parking areas**

aaa On-street parking areas shall provide an average illumination intensity of one foot-candle at the entrance to the area, including the area and the area shall be distributed on the street and the area shall be distributed on the street.

☒ One parking space for each rentable tourist unit. ☐ rentable tourist unit defined ☐ it with ☐ tide e|d or b r which ☐ be re'ted i'd i'd . The ☐ it ☐ r ☐ t |

- [illegible]

the information of the existing number of parking spaces in a district the parking spaces may be relocated in that district in addition parking spaces are added to the total number of spaces available within the district either by action of the Town Council or expiration of any parking space allocation with the understanding the Town Council may increase or decrease and in its sole discretion determine this parking spaces at any time during the term of the

- e. **Effect on 1995 exemption of pre-existing buildings, structures and uses from the parking requirement.** The parking spaces provided here in are exempted in the case where the parking spaces established in 1995 in section 1001 of the parking spaces provided under the parking spaces are in addition to any parking credits that exist under the 1995 program.

III Status following end of program.

- a. **Nonconforming.** At the end of the parking spaces program retroactive to the parking spaces program in the case of a nonconforming use or structure shall be subject to the requirements of the nonconforming use provisions of the Town Code as provided in the ordinance with the understanding the retroactive or expiring retroactive but under the parking spaces program may be completely removed or rebuilt without providing additional parking spaces provided through the parking spaces program and may the more future structure or service creation increased.
- b. **Availability of exemptions to successor businesses.** Any eligible retroactive has been and in operation with any spaces obtained pursuant to the parking spaces program those spaces will remain with the property for the benefit of future owners after the retroactive received the spaces in the
- c. **Changes in square footage or use.** The parking spaces spaces obtained pursuant to the parking spaces program shall remain with the property. The use of the property may change and the more future may increase or decrease without making the parking spaces spaces change space or expansion create the need for additional parking spaces under the code standard in effect at the time of building permit those additional spaces may be provided.

III Reports.

- a. **Notice prior to maximum utilization by district.** The Town Manager shall give the Town Council notice the spaces are exhausted under this program indicating the number of spaces exhausted and the number of spaces available in each district.
- b. **Bi-annual report.** The Town Manager shall provide a bi-annual report to the Town Council that describe the utilization of the spaces and in detail of the parking spaces program.
- c. **Notice and hearing prior to expiration of program.** Council shall give notice the Town Council shall hold a public hearing and evaluation of the program and report it back to the Council prior to its expiration on March 1st.

III **Retail stores:** The parking spaces for each new store set shall be

IV **Shopping centers:** Parking spaces required are determined on the size of the building area in square feet and the center according to the following table.

Shopping Center Size in GLA	Base Rate (1 Space for Each) (square feet)	Special Uses Requiring Additional Spaces Above Base Rate
Less than 50,000	225	10 spaces for each 1,000 s.f. of food service

		3 spaces for each 100 cinema seats
		1 space for each 700 s.f. of office use > 10% of GLA
50,000—100,000	250	10 spaces for each 1,000 s.f. of food service
		3 spaces for each 100 cinema seats
		1 space for each 700 s.f. of office use > 10% of GLA
100,000—200,000	250	6 spaces for each 1,000 s.f. of food service
		3 spaces for each 100 cinema seats > 450 seats
		1 space for each 700 s.f. of office use > 10% of GLA
200,000—400,000	250	3 spaces for each 100 cinema seats > 750 seats
		1 space for each 700 s.f. of office use > 10% of GLA
400,000—600,000	225	3 spaces for each 100 cinema seats > 750 seats
		1 space for each 700 s.f. of office use > 10% of GLA
600,000—1,200,000	200	3 spaces for each 100 cinema seats > 750 seats
		1 space for each 700 s.f. of office use > 10% of GLA

☐☐ *Single-family and duplex dwellings:* Two parking spaces for each dwelling

☐☐ *Theaters, movies or otherwise:* One space for every three fixed seating spaces or parking spaces for each 100 square feet of interior building with a public section

☐☐ *Uses not specifically mentioned:* The required off-street parking for each use not specifically mentioned in this section shall be the same as for the same use elsewhere

(Ord. No. 361, 3-14-95; Ord. No. 2007-14, § 2(Exh. A), 9-25-07; Ord. No. 2011-01, § 3, 3-8-2011; Ord. No. 2011-02, § 2, 3-22-2011; Ord. No. 2012-06, § 4, 3-27-2012; Ord. No. 2012-12, § 2, 7-24-2012; Ord. No. 2014-13, § 2, 10-28-2014; Ord. No. 2014-14, § 4, 10-28-2014; Ord. No. 2015-17, § 6, 5-24-2016; Ord. No. 2017-09, § 4, 9-13-2017)

Sec. 30-319. - Limitations on use of required parking facilities.

The minimum area and facilities shall not be permitted in required parking facilities

☐☐ Parking to serve an entire use or activity shall be provided with an off-street parking area not located on the TPO or on a street with a public section

☐☐ It shall be prohibited to display vehicles or other equipment

☐☐ Parking shall be prohibited to the degree that it creates an obstruction or a public hazard which cannot be avoided with a more dedicated parking space

☐☐ Off-street parking facilities provided by the owner or operator to meet the required off-street parking shall not be used by any other vehicle or other person or used in the building or other area during regular hours

(Ord. No. 361, 3-14-95; Ord. No. 2007-14, § 2(Exh. A), 9-25-07; Ord. No. 2011-02, § 2, 3-22-2011)

Sec. 30-320. - Parking other than on-site location.

Regulation of required parking, shared parking and off-site required parking. Any person who is required to provide parking shall comply with the following:

1. On-site: Required parking shall be provided on the same lot or premises as the building for which it is required to be provided.

2. Off-site: Required parking shall be provided on a site adjacent to the lot or premises for which it is required to be provided, or on a site that is within the same zoning district as the lot or premises for which it is required to be provided.

a. Located within the Town of Grafton in its own lot or on a lot owned by the same person.

b. Located in an RM zoning district where the lot is adjacent to the building for which it is required to be provided.

c. In an RM zoning district located within 100 feet of the RM zoning district line for the building for which it is required to be provided.

d. If not located within 100 feet of the RM zoning district line for the building for which it is required to be provided, it shall be located within 100 feet of the RM zoning district line for the building for which it is required to be provided.

1. If there is more than one building on the lot, the required parking for the building for which it is required to be provided shall be provided on the same lot.

a. Except as provided in subsection b, the required parking shall be provided on a lot that is at least 100 feet from the lot for which it is required to be provided, and the lot for which it is required to be provided shall be at least 100 feet from the lot for which it is required to be provided.

b. Except as provided in subsection a, the required parking shall be provided on a lot that is at least 100 feet from the lot for which it is required to be provided.

c. A minimum barrier of at least two feet in height shall be provided on the lot for which it is required to be provided.

d. A decorative structure or barrier shall be provided at least two feet in height on the lot for which it is required to be provided. The height of the decorative structure or barrier shall be at least two feet and the height shall be eight feet or less. The decorative structure or barrier shall be located on the lot for which it is required to be provided.

e. A tree or shrub shall be provided on the lot for which it is required to be provided.

f. A minimum barrier of at least two feet in height shall be provided on the lot for which it is required to be provided.

2. The minimum parking shall be provided on a lot that is at least 100 feet from the lot for which it is required to be provided.

a. Any person who is required to provide parking shall provide parking on a lot that is at least 100 feet from the lot for which it is required to be provided.

b. Any person who is required to provide parking shall provide parking on a lot that is at least 100 feet from the lot for which it is required to be provided.

c. Any person who is required to provide parking shall provide parking on a lot that is at least 100 feet from the lot for which it is required to be provided.

TOWN OF LAUDERDALE-BY-THE-SEA CITIZEN PARTICIPATION MEETING

Jarvis Hall
4505 Ocean Drive
Monday, November 28, 2022
6:30 PM

PROJECT SUMMARY

IMCO.BY.C LLC has filed applications for conditional use, site plan modification and flexibility use allocation permits with the Town of Lauderdale-By-The-Sea, FL 33308.

The application seeks to convert the property from a solely commercial use to a mixed use, by creating two residential units above the existing commercial units.

MEETING ATTENDEES

There were no members of the public in attendance at the meeting.

MEETING MINUTES

- David Valdini stated the address of the project as 233 E Commercial Blvd, Lauderdale-By-The-Sea.
- He mentioned the applications filed and presented the intended project.
- He stated that the replacement of the windows on the façade of the building will be made in accordance with Town's design standards, in order to maintain the Mid-Century Modern (MCM) character of the town.
- He finished by stating that the proposed use will not constitute a nuisance, be injurious or detrimental to public interests as it is similar to existing land uses on adjacent parcels and requested the approval of the conditional use, site plan modification, and flexibility unit allocation.

Exhibit 7

- Susan Leven, Planner for the Town of Lauderdale-By-The- Sea, stated that there was no attendance by the public and closed the meeting.
- The meeting was adjourned at 7:00pm.

Exhibit 8

DIVISION 10. - NOTICE OF PUBLIC HEARINGS

Sec. 30-139. - Notice of Public Hearings.

Generally. The provisions of this chapter shall apply to all public hearings of the DOD that require that the proposed public hearing is scheduled for the designated day and date of the public hearing and that proper notice of the public hearing is provided as set forth herein for public hearings that include the following provisions:

(a) The date of the public hearing.

(b) The date of the public hearing.

(c) A description of the property involved by street address or by a description of the subject property that shall be substituted for the description or as required by state law.

(d) The nature and scope of the proposed action.

(e) The Town department where the public hearing is held and the location of the hearing and related information.

(f) A statement that the hearing is held at the public hearing and that it is held with respect to the proposed action.

(g) Other information that may be required by law.

Mailed notice.

(a) Where a public hearing is required by law, it shall be provided to the property owner within a reasonable time of the public hearing and shall include the subject property and the Town Department of Public Works.

(b) Distances or other information required to be provided to the property owner shall be provided to the property owner by the Town Department of Public Works.

(c) Property owners shall be determined by the local tax records of the Town.

(d) The DOD shall provide the written notice and provide said notice to the Town clerk who shall be responsible for filing the notice.

(e) Mailed notice shall be deemed given if the notice has been properly addressed and deposited in a mailbox or delivered by the Town clerk.

(f) Notice by mail is a written notice and shall be provided to the Town clerk by the Town clerk who shall be responsible for filing the notice.

Published notice. The provisions of this chapter shall apply to all public hearings of the DOD that require that the notice be:

(a) Published in the newspaper of the Town or in the newspaper of the Town that has been selected by the Town and is published with the notice of the public hearing.

(b) The time and date established in Table XXX in this article.

(c) For the purposes of this section and Table XXX:

(i) "Digital ad" shall be an advertisement that is placed in the newspaper and the headline of the required notice shall be in a font of at least 10 point and the ad is for a public hearing and shall include a link to the public hearing.

(ii) "Standard ad" shall be an advertisement in the newspaper and the headline of the required notice shall be in a font of at least 10 point and the ad is for a public hearing.

Exhibit 8

- d. **Posted notice.** The provisions of this chapter require that notice be posted on the project subject to the provisions of the DOD Chapter provide the required sign to the applicant who will be responsible for posting the project sign set forth below:
- 1. Signs shall be posted on the project that is the subject of the application in accordance with the rules described in Table XXX in this article prior to a required or requested hearing.
 - 2. If the subject project fronts on more than one right-of-way, then a sign shall be posted on each right-of-way.
 - 3. Signs shall be posted on a lot more than five feet from the street or if there is a side-compass lot more than ten feet beyond the project side edge of the side-compass that the lotteries is visible from the street.
 - 4. If the sign is destroyed or removed from the project, the applicant is responsible for obtaining another sign from the Town and posting the sign on the project.
 - 5. The sign shall be on the project site in accordance with the provisions of this chapter. This shall include the design, height, location, and required sign or signs for hearing before the board. The sign information shall be added to include any additional sign hearing or public hearing design consistent with Table XXX.
 - 6. If a sign is placed more than five days prior to the public hearing, the applicant shall execute and submit to the Department of Public Works a copy of the notice of the public hearing sign in accordance with the provisions of this chapter. A date is provided in accordance with the provisions of this chapter. The applicant will submit the required sign to the DOD or to the provisions of the provisions of the text of the hearing after the sign has been received.
- e. **Town Website Posting.** Notice of a development application shall be provided on the Town website no later than ten days prior to any public hearing related to the application. Notice is a separate item and no action taken by the Town shall be added by the more specific notice to be posted.
- f. **Re-noticing.** Projects are notified of the public hearing shall be borne by the party who is to be in with the applicant. Notice required for re-notification the deferred notification or where action are responsible for the deferred notification which is required re-notification of the hearing notification to a date certain. At the original notice, a meeting shall require re-notification of the public hearing date. Notification of a deferred date shall be a notification request during the period of notification has been notified or are that a notification of the notification shall require re-notification of the public hearing date.
- g. **Development applications requiring public hearing.** Public hearing of applications for development or permit shall be other than required notification but not limited to administrative matters, including administrative decisions, conditions of site, and other matters shall be notified in accordance with Table XXX.
- h. **Applicant bears burden of costs.** The provisions of this chapter require that notice be provided on the part of the town. Therefore, the cost of the notice and provision each notice shall be billed through the requester.
- i. **Provisions of Florida Statutes to prevail.** Where provisions of the Florida Statutes conflict with provisions of this chapter, the Florida Statutes shall prevail except where this chapter contains provisions that require a date in accordance with the Florida Statutes.

Exhibit 8

Table XXX Title Requirement

Application Type	Florida Statute Reference	Board Notice Date (as applicable)	Commission Notice Date	Type of Notice			
				Website	Posted	Mailed 300'	Published (Ad Type)
Other development permits: administrative adjustments, appeals from administrative decisions, conditional uses, plats, site plans, variances		10 days	10 days	X	X	X	n/a
Administrative decisions: Architectural Review, Conditional Use Level 1 Modification, Site Plan Level 1 Modification				n/a	n/a	n/a	n/a
Comprehensive Development Master Plan - Text	163.3184	10 days	7 days - 1st public hrg and 5 days - 2nd public hrg	X			X (Display)
Comprehensive Development Master Plan - Map	163.3184	10 days	7 days - 1st public hrg and 5 days - 2nd public hrg	X	X	X	X (Display)
Land Development Code - Text Amendments changes to actual list of permitted, conditional, or prohibited uses within a zoning category).	166.041(3)(c)2	10 days	7 days - 1st public hrg and 5 days - 2nd public hrg	X			X (Display)
Application Type	Florida Statute Reference	Board Notice Date (as applicable)	Commission Notice Date	Type of Notice			
				Website	Posted	Mailed 300'	Published (Ad Type)
Land Development Code - all other Text Amendments	166.041	10 days	10 days	X			X (Standard)
Zoning Map Change (chapter 30)—Town (less than 10 contiguous acres)	166.041(3)(c)1	10 days	30 days	X		X	X (Standard)
Zoning Map Change (chapter 30)—Town (10 or more contiguous acres)	166.041(3)(c)2	10 days	7 days - 1st public hrg 5 days - 2nd public hrg	X	X	X*	X* (Display, with map)
Zoning Map Change (chapter 30)—Owner	166.041(3)(a)	10 days	10 days	X	X	X	X (Standard)



**SITE PLAN AMENDMENT, CONDITONAL USE,
AND FLEXIBILITY UNITS DEVELOPMENT ORDER
2022-L2-SPM-02, 2022-CU-01, 2022-FXU-01
TOWN OF LAUDERDALE-BY-THE-SEA, FLORIDA**

PROJECT NAME: 233 E Commercial Boulevard

ADDRESS OF PROPERTY: 233 E Commercial Boulevard

FOLIO #: 4943 18 07 0420

PROPERTY OWNER: IMCO BY C., LLC

APPLICANT: Charles Weidner (Maria Karachalia)

APPLICANT ADDRESS: 801 S Ocean Drive, #201, Hollywood, FL 33019

REQUEST: Pursuant to the requirements of Article IV, Division 2 of Chapter 30 “Unified Land Development Regulations,” Section 30-271(i)(3) “Mixed Use Requirements,” Section 30-126 “Conditional Use Requirements,” and Section 30-100 “Flexibility Rules” of the Town Code of Ordinances (“Town Code”), the Applicant is requesting a site plan modification, conditional use approval, and flexibility unit allocation to permit a mixed-use development including two (2) second-floor residential dwelling units within the B-1 Zoning District for property located at 233 E Commercial Boulevard.

SECTION 1. FINDINGS. THIS MATTER came before the TOWN Commission of the TOWN of LAUDERDALE-BY-THE-SEA, Florida, on February 28, 2023, following due public notice. The TOWN Commission having considered the public testimony, evidence in the record, the testimony of the applicant, and the recommendation of the TOWN Planning and Zoning Board and administrative staff, finds that the application, as conditioned herein, is in compliance with the applicable standards and minimum requirements of Chapter 30 “Unified Land Development Regulations” of the Town Code.

SECTION 2. APPROVAL. The request to approve a Site Plan Modification, Conditional Use, and Flexibility Unit Allocation to permit a mixed-use development including two (2) second-floor residential dwelling units located within the B-1 Zoning District is hereby approved as shown on the plans submitted on October 9, 2022, attached as **Exhibit 1**, except as modifications may be required by this approval or the Building Official.

SECTION 3. CONDITIONS. The APPROVAL granted herein is subject to the following conditions:

1. The Applicant shall secure a building permit, as defined in Section 30-121(e) of the Town Code, for the project within twelve (12) months of the date of the development order approval and a certificate of occupancy for all structures within eighteen (18) months of obtaining the building permit. An extension to the deadline for completion of construction and compliance with the site plan development order may be granted by the Special Magistrate pursuant to the requirements of Section 6-12 of the Town Code.
2. All construction shall be in accordance with the plans, incorporated into the approved Development Order as **Exhibit 1**, which are listed in this report and in accordance with all modifications and conditions approved by the Town Commission. If changes occur as part of the building permit and/or architectural review process, the Applicant will be required to provide this information to Development Services Staff to determine if a modification of the Site Plan approval is required.
3. Prior to issuance of a building permit, the Finance Director shall certify that there are no outstanding fines, moneys, fees, taxes or other charges owed to the Town by the current or past owners or operators of the property in which the building permit is being issued. If fees are related to a code violation that requires a building permit to correct the violation, only the

building permits required by the Town for correction of the violation may be issued. No other building permits will be issued until all outstanding debts to the Town are paid in full.

4. The approved site plan does not in any way create a right on the part of the Applicant to obtain a permit from a state or federal agency and does not create liability on the part of the Town for issuance of the approval if the Applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes action that result in a violation of federal or state law.
5. All applicable state and federal permits shall be obtained before commencement of construction.

SECTION 4. VIOLATION OF CONDITIONS. Failure to adhere to the terms and conditions of this Development Order shall be considered a violation of the Town Code and persons found violating the conditions shall be subject to the penalties prescribed by the Town Code, including but not limited to, the revocation of any of the approval(s) granted in this Development Order. The Applicant understands and acknowledges that it must comply with all other applicable requirements of the Town Code before it may commence construction or operation, and that the foregoing approval in this Development Order may be revoked by the Town at any time upon a determination that the Applicant is in non-compliance with the Town Code or the conditions of this Approval.

SECTION 5. APPEAL. In accordance with Section 30-140(d)(11) of the Town Code, the Applicant, or any aggrieved property owner in the area, may appeal the decision of the Town Commission in the Circuit Court of Broward County, Florida, in accordance with the Florida Rules of Appellate Procedure.

SECTION 6. EFFECTIVE DATE. This Development Order shall become effective upon Approval by the Commission.

APPROVED this ____ day of _____, 2023

MAYOR CHRIS VINCENT

ATTEST:

Katrina Adler, Town Clerk

Approved as to form:

Susan L. Trevarthen, Town Attorney

REVISIONS	BY

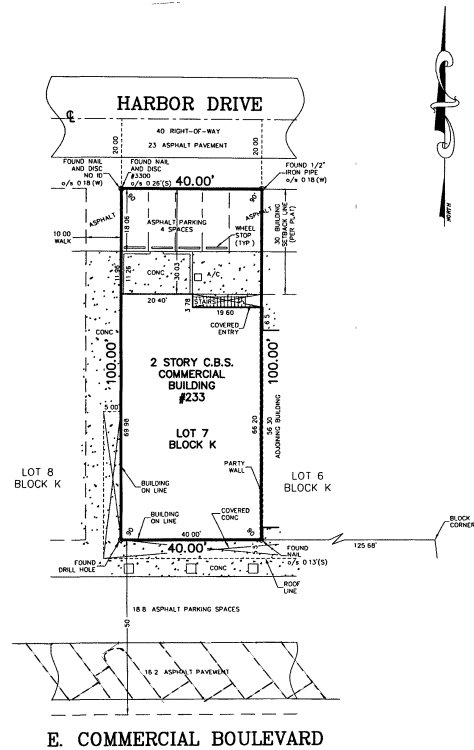
FOR::: 233 - UNIT "C", EAST COMMERCIAL BLVD.
FOLIO :: 4943-18-07-0420, LAUDERDALE BY THE SEA, FL. 33308

Charles O. Buckalew
Consulting Engineering Services, Inc
801 South Ocean Drive, Suite 201
Hollywood, Florida 33019
C O A Number 6255
Tele (954) 558-1189 Fax (954) 920-8988



CHARLES O. BOGALIN, PE
FLORIDA REG. NO. 24842

DATE	OCT, 2022
SCALE	1"=20'-0"
BY	CRW
JOB	OC-2297
SHT	SP-1



SITE CALCULATIONS

TOTAL BUILDING AREA	=	2,799 20 S F	PER FLR
TOTAL BUILDING HEIGHT	=	24'-0"	ABOVE GRADE
1st FLOOR TENANTS--			
REAL ESTATE OFFICE	=	1399 60 S F	
RESTAURANT	=	1399 60 S F	
2nd FLOOR TENANTS--			
FRONT UNIT-- RESIDENTIAL	=	1578 20 S F	
REAR UNIT -- RESIDENTIAL	=	1221 00 S F	
TOTAL PARKING PROVIDED	=	(7)SEVEN	PARKING SPACES

SURVEY ADDRESS:

233 E. COMMERCIAL BOULEVARD
LAUDERDALE BY THE SEA, FLORIDA 33308

FLOOD ZONE & ELEVATIONS:

FLOOD ZONE X
BASE FLOOD ELEVATION: N/A
CONTROL PANEL NO. 125123-0209-F
DATE OF FIRM INDEX. 10/02/97

CERTIFY TO:

1 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
2 BEIGHLEY, MYRICK & UDELL, P.A.
3 GUY FAVART

POTENTIAL ENCROACHMENTS:

1. COVERED CONCRETE CROSSES OVER THE SOUTHERLY AND WESTERLY
PROPERTY LINES

LEGAL DESCRIPTION:

LOT 7, BLOCK K OF "SILVER SHORES SECTION OF LAUDERDALE BY THE SEA UNIT B", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 31, AT PAGE 3, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA..

LEGEND & ABBREVIATIONS:

[illegible]

GENERAL NOTES:

2. IF THIS SURVEY HAS BEEN REVISED AS INDICATED IN THE REVISION BOX SHOWN HEREON, THEN ANY AND ALL PREVIOUS VERSIONS OF THIS DRAWING ARE HEREBY REVOKED AND THIS DRAWING IS TO AVOID THE PROPERTY SHOWN HEREON WAS NOT ABSTRACTED FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS OF RECORD BY PENNELL SURVEY, INC. THERE MAY BE ADDITIONAL MATTERS OF RECORD THAT MAY AFFECT THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY, FOR WHICH THE SURVEY PROPERTY IS LOCATED IN THE PUBLIC RECORDS. ALL MEASUREMENTS ARE IN AGREEMENT WITH RECORD MEASUREMENTS. ELEVATIONS SHOWN HEREON (IF ANY) ARE BASED ON THE NATIONAL NAVIGATION DATUM OF 1983. UNLESS OTHERWISE NOTED, UNDERGROUND IMPROVEMENTS ARE NOT UTILITIES. NOT LOCATED FENCE AND WALL OWNERSHIP IS NOT DETERMINED. THIS DRAWING IS THE PROPERTY OF PENNELL SURVEY, INC. AND SHALL BE USED ONLY FOR THE PURPOSES OF THE PARTIAL SURVEY. NO WRITTEN PERMISSION OR AUTHORIZATION FROM PENNELL SURVEY, INC. ON ALL EASEMENTS SHOWN ON THE ATTACHED DRAWING ARE PER THE TERMS OF THE COPIES OF THIS DRAWING. THIS DRAWING IS FOR THE SURVEY IS FOR MORTGAGE AND TITLE PURPOSES ONLY.

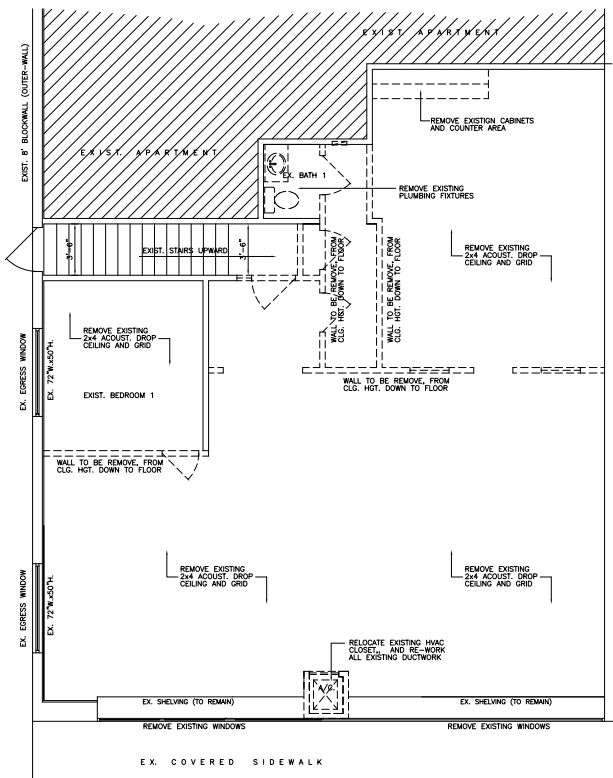
REVISIONS	BY
01-08-22, REV. PER STRUCT. REVIEW	CM
09-08-22, REV. PER ZONING REVIEW	CM

FOR::: 233 EAST COMMERCIAL BLVD. - AIRB-B

Charles O. Buckalew
 Consulting Engineering Services, Inc.
 801 South Ocean Drive, Suite 201
 Pompano Beach, Florida 33069
 C.O.A. Number 6235
 Tele.: (954) 558-1189 Fax.: (954) 924-8988



DATE: DEC., 2019
 SCALE: 1/4"=1'-0"
 BY: C.R.W.
 JOB DE-1997
 SHEET: A-1



INT. DEMOLITION PLAN

SCALE: 1/4"=1'-0"

DEMOLITION NOTES:

ALL WASTE MATERIAL/DEBRIS TO BE REMOVED AND DISPOSED OF BY CONTRACTOR

IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR VISIT THE SITE PRIOR TO IMPROVEMENTS TO BECOME FAMILIAR WITH EXISTING SITE CONDITIONS

CONTRACTOR TO MAINTAIN FULL SERVICES TO EXIST. TENANT SERVICE BAY, I.E., ELECT., CABLE, POTABLE WATER, SAN, SEWER, ETC. UNDER NO CIRCUMSTANCES SHALL THESE SERVICES BE INTERRUPTED OR ANY CONDITIONS ALTERED, UNLESS OTHERWISE INDICATED.

CURRENT ELECTRIC, HVAC, WATER & SEWER SERVICE IS ACTIVE FOR TENANT BAY, ALL ITEMS TO REMAIN IN EXIST. CONDITION, UNLESS OTHERWISE INDICATED.

DEMOLITION OF EXISTING CONDITIONS SHALL BE CONFINED TO INTERIOR OF TENANT SPACE ONLY. ALL ITEMS SCHEDULED FOR REMOVAL ARE CONSIDERED NON-STRUCT., LIMITED TO PREVIOUS TENANT EXISTING ITEMS AND FLOOR CARPET COVERING. ALL DEMOLITION TO BE REMOVED THRU TENANT SPACE ACCESS LOCATIONS. CONTRACTOR SHALL ENSURE THAT SIDEWALK ACCESSIBILITY IS MAINTAINED AT ALL TIMES FOR PEDESTRIAN USAGE THROUGHOUT THE DURATION OF CONSTRUCTION.

ALL EXISTING HVAC, ROOF-GROUND MOUNTED EQUIPMENT ALONG WITH INTERIOR DUCT-WORK, TO BE REPLACED (RELOCATE UNIT AND NEW DUCT-WORK). CONTRACTOR SHALL FIELD INSPECT ALL EXISTING EQUIPMENT AND SYSTEMS FOR FULL OPERABLE CONDITIONS AND PROVIDE A SERVICE REPORT TO TENANT & ENGINEER FOR REVIEW.

2nd. FLOOR NEW UNIT - FLOOR PLAN

SCALE: 1/4"=1'-0"

USE & OCCUPANCY CLASSIFICATION:
 RESIDENTIAL GROUP "R" (R-2), F.B.C. SECTION 310.4
 CLASSIFICATION OF WORK:
 (2nd.FLR.) NEW WINDOWS & NEW 8"BLOCKWALL, O.A. S.F.= 1,548.40 S.F.

GENERAL NOTES:

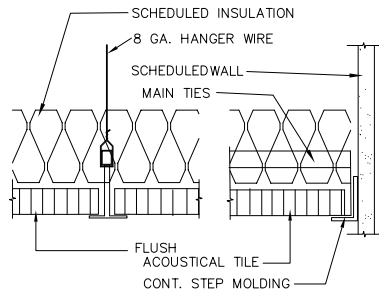
- UNLESS OTHERWISE NOTED, ALL MATERIALS, WORKMANSHIP & PRACTICES SHALL MEET THE REQUIREMENTS OF THE FOLLOWING:
 THE 2020 FLORIDA BUILDING CODE, 7th EDITION, RESIDENTIAL, CHAPTER 3 & ASCE 7-16, ALL APPLICABLE SPECIFICATIONS & REQUIREMENTS.
- THE LOCATION OF EXIST. UTILITIES & STRUCTURES HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER.
- THE CONTRACTOR SHALL VISIT SITE & VERIFY ALL EXIST. CONDITIONS PRIOR TO CONSTRUCTION & BRING ALL CONFLICTS TO THE ATTENTION OF THE ENGINEER.
- ALL CONC. SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 2,500 PSI @ 28 DAYS.
- REINFORCING BARS SHALL COMPLY W/ ASTM-A 615.
- ALL SHOWER/TUB WALL LIMITS ARE TO BE IMPERVIOUS MATERIAL, 7/2" A.F.F. (MATERIAL PER OWNER SPECS) FLOOR TILE & BASE TRIM ARE TO BE OF IMPERVIOUS MATERIAL (AS APPLICABLE).
- ALL SOIL & FILL UNDER FLOORS AND/OR WITHIN BLDG. PERIMETER SHALL HAVE SOIL TREATMENT FOR PROTECTION AGAINST TERMITES. CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE CITY BLDG. DEPT. OR COUNTY, PRIOR TO SLAB BEING POURED.
- INT. PARTITION WALLS SHALL BE 3 5/8"-20GA. MTL. STUDS, W/ STUDS @ 16"O.C. & 1/2" GYPSUM BOARD BOTH SIDES (UNLESS OTHERWISE NOTED)
- VERIFY ALL MASONRY & WOOD FRAME OPENING SIZES TO FIT DOORS & WINDOWS BEFORE INSTALLATION NOTIFY ENGINEER OF CONFLICTS PRIOR TO CONSTRUCTION
- ALL WINDOWS & DOORS BEING INSTALLED, SHALL MEET THE CURRENT REQUIREMENTS FOR MISSILE IMPACT RESISTANCE & TOLERANCE. WINDOWS SHALL MEET ANSI/AAMA 101-93 & AAMA 1302.5 FOR RESIDENTIAL SPECIFICATIONS ON FORCED ENTRY RESISTANCE OR HURRICANE SHUTTERS SHALL BE APPLIED.
- GLAZING CONTRACTOR TO SUPPLY CONT. WEATHER STRIPPING AROUND ALL EXT. DOORS & WINDOWS. WINDOWS TO BE TINTED PER OWNER'S SPECIFICATIONS & ARE TO BE SET IN CALK BEGS.
- EXISTING WINDOWS SHALL PROVIDE A CLEAR OPENING NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT, 5.7 SQ. FT. IN AREA, W/ THE BOTTOM OF THE OPENING NOT MORE THAN 44" ABOVE F.F.E. AND NO PART OF THE OPERATING MECHANISM MORE THAN 54" ABOVE F.F.E.
- ALL INTERIOR FINISHES, CARPET, TILE, ETC., & FIXTURES, CABINETS, VANITY'S, REFRIG., SHALL BE THE MAKE & STYLE AS SPECIFIED BY PROPERTY OWNER, CONTRACTOR TO COORD. W/ OWNER PRIOR TO INSTALLATION. AND/OR PURCHASE, ALL FINISHES & FIXTURES AS SPECIFIED SHALL MEET ALL M.I. STANDARDS OF THE F.B.C.
- ALL INTERIOR & EXTERIOR FINISHES, PAINT, TRIM, BASEBOARDS, ETC., SHALL BE AS SPECIFIED BY PROPERTY OWNER, CONTRACTOR TO VERIFY PRIOR TO INSTALLATION & CONSTRUCTION.
- PROVIDE ATTIC ACCESS IN THE AREA INDICATED. THIS ACCESS SHALL BE 20" TO FIT BETWEEN ROOF TRUSSES & 36" LONG (MIN. S.F. = 5.0 S.F.)
- SHOWER & TUB, GLASS ENCLOSURES (ENTRY DOOR & SIDE PANELS) SHALL BE SAFETY GLASS (AS APPLICABLE)

WALL SCHEDULE:

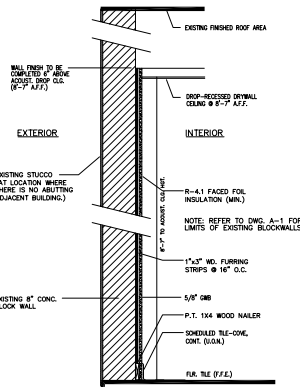
- PROVIDE 1"2" O.D. W.D. FURRINGS @ 16"O.C. WITH R-4.1 INSUL. & FINISHED WITH 5/8" TYPE-X GYP. BOARD (TENANT BLOCKWALL)
- NEW 8" PERM. CONC. BLOCKWALL W/ HORIZ. LADDER REIN. EVERY 2ND COURSE OF BLOCK. PROVIDE (1)5 BAR IN VERT. CONC. FILLED CELL AT CORNER LOCATIONS SHOWN & SPACED @ 42"O.C. AROUND FULL PERIM. (SEE DWG. S-1), EXTERIOR WALL FINISHED WITH EXISTANT STUCCO FINISH.
- PROVIDE 3 5/8"-20GA. MTL. STUDS @ 16"O.C. & FINISHED WITH 1/2" GYP. BOARD ECH. SIDE. PROVIDE GREEN-BOARD OR DUR-O-ROO IN BATHROOM & KITCHEN AREAS (WET AREAS) AS NEEDED. REFER TO PLAN LOCATIONS FOR WIDER CHASE-WALL FRAMING & RATED WALL LIMITS
- INTERIOR CLGS. FINISHED WITH MTL. CHANNEL FURRING @ 16"O.C. WITH R-30 BATT INSULATION THROUGHOUT & FINISHED WITH 5/8" GYP. CEILING BOARD. NEW CEILING HGT.= 8'-7" A.F.F. (OPTIONAL 1"x3" W.D. CLG. FURRING @ 16"O.C., ACCEPTABLE)
- EXISTING WALL REQUIRES A FIRE-WALL TO ROOF DECK== NEW 3 5/8"-20GA. MTL. STUDS @ 16"O.C. AND PROVIDE R-15 BATT. INSUL. OR MINERAL-WOOL THROUGHOUT FINISH WITH ONE LAYER 5/8" TYPE-X GYP. BOARD EACH SIDE. PROVIDE GREEN-BOARD IN KITCHEN AREAS (WET AREAS) AS NEEDED. REFER TO PLAN LOCATIONS FOR FIRE-RATED WALL LIMITS (1HR. FIRE-RATED TENANT SEPARATION WALL, DESIGN NO. U465- ANSI/UP. 263)

WINDLOAD DESIGN PRESSURES BASED ON FENESTRATION VOLUNTARY WIND-LOAD, PER ASCE 7-16 METHOD 1, PART 1.. WIND 180 MPH. (3-SEC. GUST). EXPOSURE-D, Kd= 0.85 / Z=1.0, RISK CAT. II, ALLOWABLE STRESS DESIGN (ASD.) METHOD, P=0.6W.

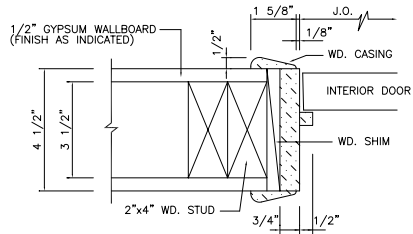
CONTRACTOR TO VERIFY ALL MASONRY (R/O) OPENING SIZES TO FIT DOORS & WINDOWS AS PLAN SPECIFIED, NOTIFY ENGINEER OF CONFLICTS PRIOR TO CONC. POUR. WINDOW & DOOR MANUF'S. (BRAND NAMES) AS SPECIFIED OR APPROVED EQUAL, BY OWNER AND ENGINEER



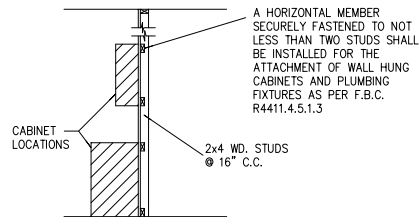
FLUSH ACOUST. CLG. DETAIL



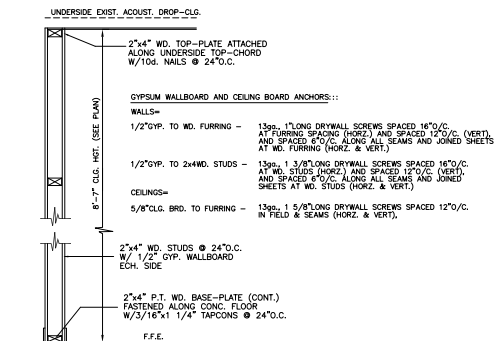
EXIST. CONC. BLOCKWALL DETAIL



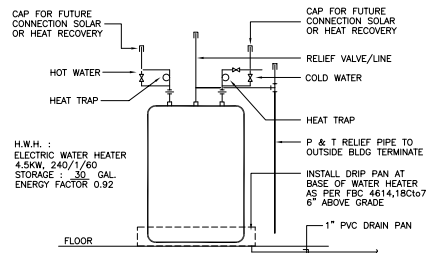
INTERIOR JAMB DETAIL



WALL-HUNG CABINETS



TYP. INT. WALL SECTION



WATER HEATER INSTALL DETAIL

REVISIONS	BY

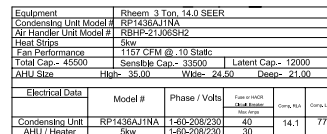
FOR::: 233 - UNIT "C", EAST COMMERCIAL BLVD.
FOLIO :: 4943-18-07-0420 , LAUDERDALE BY THE SEA , FL. 33308

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PROJECT NO. 2022-001
DATE: OCT., 2022

SCALE: AS NOTED
BY: C.R.W.
JOB: OC-2297
SHT: A-2



Refrigeration Piping
3/8" Liquid Line
7/8" Suction Line
R-3 insulation
Run overhead in attic

UNIT NOTES :

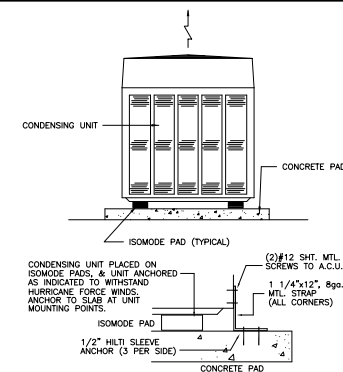
1. PROVIDE UNIT MOUNTED CIRCUIT BREAKER FOR AIR HANDLING UNIT.
2. PROVIDE ANTI-SHORT CYCLE TIMER FOR CONDENSING UNIT.
3. PROVIDE PROGRAMMABLE TYPE THERMOSTAT FOR AIR HANDLING UNIT.
4. R-6 DUCTWORK.
5. USE RETURN AIR GRILL THRU UTILITY WALL.

A.H.U. UNIT:
AUXILIARY DRAIN PANS SHALL BE REQUIRED, SIZE & MAKE SHALL MEET THE REQUIREMENTS OF THE F.A.C. M307.2.3. A SEPARATE DRAIN LINE SHALL EXTEND FROM THE PAN TO A CONSPICUOUS POINT & SERVE AS AN ALARM INDICATING THAT THE PRIMARY LINE (CONDENSATE) IS RESTRICTED. CONDENSATE LINES SHALL BE TRAPPED AS SPECIFIED BY UNIT MANUF.

A.H.U. SHALL HAVE A CONDENSATE FLOAT SWITCH, TO CONTROL OVERFLO. THAT WILL AUTOMATICALLY SHUT DOWN THE A/C SYSTEM. THIS DEVICE SHALL BE CONNECTED TO THE SECONDARY DRAIN OUTLET ON THE A.H.U. (BECKETT MODEL NO. 4NF97, OR APPROVED EQUAL).

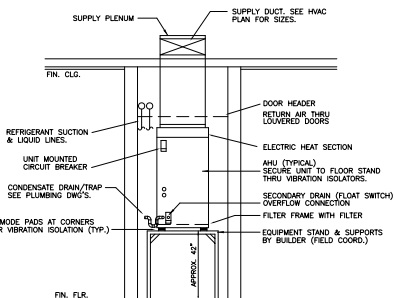
INSULATED VALUES :
PERIM. BLOCKWALL
UPPER-ATTIC AREA

HVAC DESIGN REQUIREMENTS	YES	NO
DUCT SMOKE DETECTOR		NO
FIRE DAMPER(S)		NO
SMOKE DAMPER(S)		NO
FIRE RATED ENCLOSURE		NO
FIRE RATED ROOF/FLOOR		NO
CEILING ASSEMBLY		NO
FIRE STOPPING		NO
SMOKE CONTROL		NO



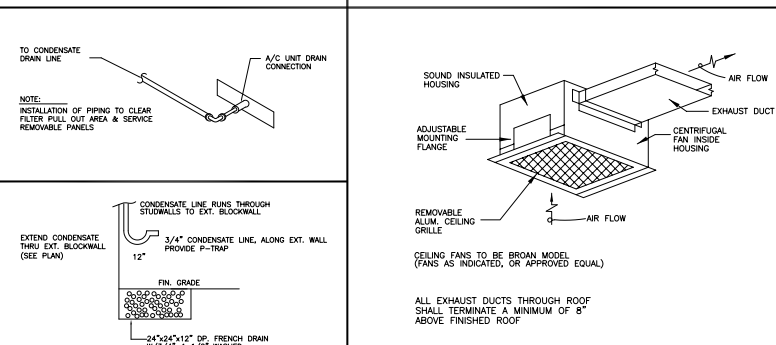
EXISTING UNIT TO REMAIN, NO CHANGES

A.C.U. PAD DETAIL



EXISTING UNIT TO REMAIN, NO CHANGES

A.H.U. CLOSET DETAIL



CONDENSATE DETAILS

EXHAUST FAN DETAIL

REVISIONS	BY

FOR: 233 - UNIT "C", EAST COMMERCIAL BLVD.
FOLIO :: 4943-18-07-0420, LAUDERDALE BY THE SEA, FL. 33308

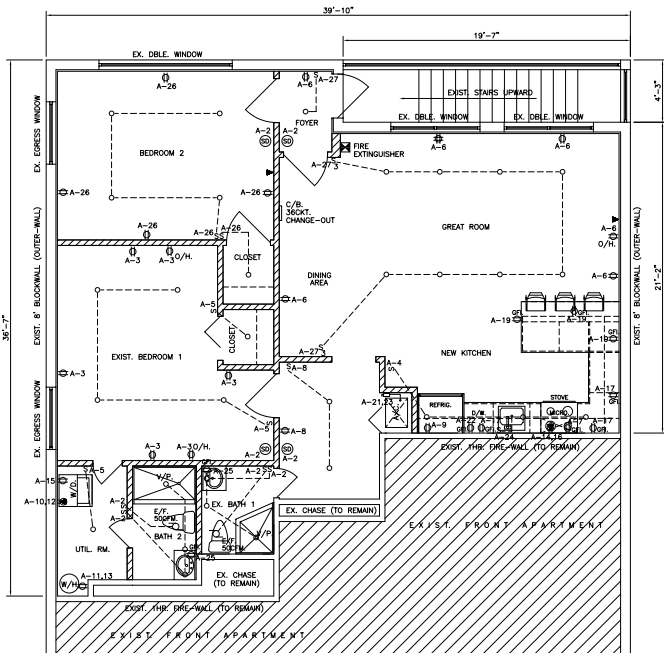
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☞

CHARLES O. BUCKALEW, P.E.

DATE	OCT., 2022
SCALE	1/4"=1'-0"
BY	C.R.W.
JOB	OC-2297
SHT	AC-1

Page 10 of 10



2nd. FLOOR

ELECTRICAL AND LIGHTING - FLOOR PLAN

SCALE: 1/4"=1'-0"

- CONTRACTOR SHALL VERIFY WITH FIRM THE LOCATION OF SERVICE AND SHALL LOCATE METER AND PANELS AS REQUIRED.
- ALL WIRE SHALL BE THIN COPPER, UNLESS NOTED OTHERWISE.
- WHERE REQUIRED BY OTHER CODES, SERVICE AND FEEDER CONDUCTORS SHALL BE COPPER OF EQUAL AMPACITY.
- ALL BRANCH CIRCUITS IN RACEWAY OR NON-METALLIC SHEATHED CABLE.
- COORDINATE RACEWAY INSTALLATIONS WITH OTHER TRADES PRIOR TO CONSTRUCTION.
- VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MANUFACTURER SPECIFICATIONS.
- PROVIDE DISCONNECT SWITCH OF SIZE AS REQUIRED BY LOAD AND UNITS.
- PROVIDE NON-FUSIBLE GENERAL DUTY SAFETY SWITCHES AT A/C EQUIPMENT AND AT PUMPS NOT VISIBLE FROM CIRCUIT BREAKER PANEL AND AS PER MANUFACTURER RECOMMENDATIONS.
- PROVIDE GFI BREAKERS FOR ALL BATHROOMS, GARAGE EXTERIOR OUTLETS AS SHOWN ON PLANS.
- ELECTRICAL FIXTURES, TRIM AND APPLIANCES SHALL BE UL APPROVED AND AS SELECTED BY OWNER.
- PROVIDE PRE-WIRED TELEPHONE OUTLETS AS SHOWN ON ELECTRICAL PLAN. PROVIDE PRE-WIRED T.V. OUTLETS FOR CABLE AS SHOWN ON PLANS.
- DEDICATED CIRCUITS SHALL HAVE NO MORE THAN 6 DUPLEX RECEPTACLES.
- IN KITCHENS, DINING ROOMS AND BATHROOMS, RECEPTICAL OUTLETS FOR COUNTER SPACES SHALL BE GFI PROTECTED TAMPER-RESISTANT ACCORDING TO NEC 200-404.
- ALL CLOSET LIGHTING SHALL COMPLY WITH NEC SEC. 410.8.
- SMOKE DETECTORS SHALL BE CONNECTED TO KITCHEN OR BATH LIGHTING CIRCUITS AHEAD OF SWITCH AND HAVE SELF-CONTAINED BATTERY BACK-UP. DETECTORS SHALL BE TANDUM WIRED SO ALL DETECTORS SOUND SIMULTANEOUSLY.
- PREWIRE FOR GARAGE DOOR OPENER SENSOR. (NOTE AS APPLICABLE)
- ALL OUTLET BOXES FOR RECEPTALS, TV ANTENNAS, OR TELEPHONE JACKS, ETC. IN RATED WALLS MUST BE METAL OR U.L. RATED FOR USE IN ONE HOUR FIRE RATED CONSTRUCTION.
- ELECTRICAL CONTRACTOR TO CONFORM WITH BELL SOUTH REQUIREMENTS FOR TELEPHONE EQUIPMENT INSTALLATION.
- COORDINATE ALL CONDUIT RUNS AND EQUIPMENT INSTALLATION WITH OTHER TRADES TO AVOID CONFLICTS PRIOR TO FABRICATION, INSTALLATION, AND ERECTION.
- ELECTRICAL CONTRACTOR TO VERIFY ALL HVAC UNIT CONNECTIONS WITH HVAC CONTRACTOR PRIOR TO INSTALLATION. ALL A/C UNITS TO HAVE INTERNAL BREAKERS.
- ALL METERS, METER CENTERS AND DISCONNECTS TO BE APPROVED BY FIRM.
- MINIMUM WIRE SIZE SHALL BE #14 AND INSULATION FOR WIRE SIZE #14 AND SMALLER SHALL BE THIN #14 AND LARGER SHALL BE THIN #14 CONDUCTORS (#10 AND SMALLER MAY BE SOLID #14 AND LARGER SHALL BE STRANDED (ROMEX USED AS APPROVED)).
- CIRCUIT LOCATION AND LOAD DATA ARE BASED UPON INFORMATION GIVEN TO THE ARCHITECT AT THE TIME OF DESIGN. CONTRACTOR SHALL VERIFY ALL EQUIPMENT AND PANEL SIZES AND SHALL PROVIDE CIRCUITS AND ROUTING OF CONDUITS TO SUIT JOB CONDITIONS.
- ALL 120V, 1 PHASE 15A AND 20A GARAGE AND EXTERIOR RECEPTACLES SHALL HAVE GROUND FAULT INTERRUPTER (GFI) PROTECTION.
- USE GFI CIRCUIT BREAKERS ON GFI RECEPTACLES.
- PROVIDE W.P. DISCONNECTS AT ALL A/C COMPRESSORS, SPRINKLER, POOL EQUIPMENT, AND WHIRLPOOL PUMPS.
- MAIN ELECTRICAL SERVICE TO BUILDING TO BE OVERHEAD (UNLESS NOTED OTHERWISE)

SYMBOL LEGEND :

- TRIPLE
CABLE
- TELE. (INTERNET) JACK OR CABLE (LOCATION AS INDICATED)
- 20A, 120V, DUPLEX RECEPTACLE, GROUNDING TYPE U.O.N. MOUNTED 18" A.F.F. OR AS FIELD DIRECTED
- SPECIAL PURPOSE RECEPTACLE (SEE PLAN)
- EXHAUST FAN (SEE PLAN FOR LOCATION)
- CEILING FAN/LIGHT FIXTURE (SEE PLAN, 100W. MAX.)
- CEILING LIGHT OR EXTERIOR FIXTURE, 100W. MAX.
- SMOKE DETECTOR (TANDUM WIRED W/ BATTERY BACK-UP)
- 120/277V, 20A, SINGLE POLE LIGHT SWITCH
- W.P. INDICATES WEATHER-PROOF FIXTURE
- V.P. INDICATES VAPOR-PROOF FIXTURE
- O.H. INDICATES OVERHEAD FIXTURE AND/OR RECEPT.

NOTES :

- ALL LIGHT SWITCHES ARE TO BE INSTALLED 48" A.F.F.
- ALL ELECT., TELEPHONE/DATA & CABLE OUTLETS TO BE INSTALLED 18" A.F.F., U.O.N.

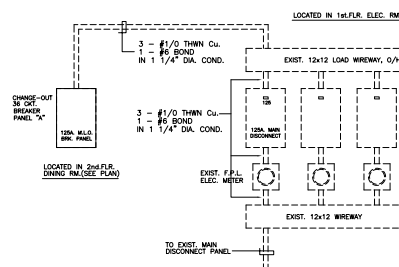
Equipment	Resem 3 Ton, 14.0 SEER
Condensing Unit Model #	RPH433A1TNA
A/P Handler Unit Model #	RHP-21J06SH2
Heat Stage	See
Fan Performance	1157 CFM @ .10 Static
Total Cap. - 45500	Sensible Cap. - 33500 Latent Cap. - 12000
AHU Size	High - 39.00 Wide - 24.50 Depth - 21.00
Electrical Data	Model # Phase / Volts
Condensing Unit	RPH433A1TNA 1-60-208/230 40 14.1 77.0
AHU / Heater	See 1-60-208/230 30

EXH. FAN (E.F.) = BROWN MODEL #68B, 50CFM.
EXHAUST FAN
CLIMATE - 4.0 SONES.
VENT WITH 4" DUCT V.T.R.
(OR EQUAL)

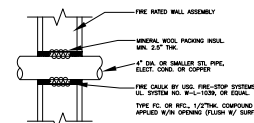
CIRCUIT BREAKER PANEL "A" (36 CKT. PANEL)						
125A-125/240V, 1PH, AC SYSTEM - 10000						
CKT.	SERVICE	WATTS	TRIP	POLES	MPE #	COND.
1	EXT. RECEPT. (W.P.)	540	20	1	12	ROMEX
2	A. ROOM (ACFP)	1080	20	1	12	
3	M. ROOM-UTL. RM. (ACFP)	360	20	1	12	
7	MIDWINTER (ACFP)	1080	20	1	12	
8	REFRIGERATOR (ACFP)	850	20	1	12	
11	HOT WATER HEATER	5000	30	2	10	
13						
15	WASHER (ACFP)	1000	20	1	12	
17	SMALL APPL. RECEPT. (GFI-ACFP)	1080	20	1	12	
18	SMALL APPL. RECEPT. (GFI-ACFP)	1080	20	1	12	
21	AUXILI. (SLMT. STRIPS)	5000	30	2	10	
23						ROMEX
25	BATH RECEPT. (GFI-ACFP)	360	20	1	12	ROMEX
27	ENTRY-LIVING RM. LIGHTS (ACFP)	600	15	1	14	
29	SPACE					
31	SPACE					
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33	SPACE					
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* NON-CONCURRENT

OPTIONAL CALC.:		TOTAL WATTS PER PANEL = 41,080
TOTAL WATTS LESS A/C	=	36,080
1ST 10,000 @ 100%	=	10,000
BAL. 26,080 @ 40%	=	10,432
A/C	=	5,000
		26,432 / 240 = 109.95 AMPS

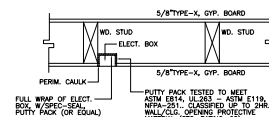


EXIST. 125A, ELECTRIC SERVICE RISER
N.T.S.



PENETRATIONS AT FIRE RATED WALL/CLG.
SCALE: N.T.S. U.L. SYSTEM NO. W-L-1039

PENETRATIONS AT FIRE-RATED WALLS/CLG.:
FIRE CAULK BY USC, FIRE-STOP SYSTEMS
U.L. SYSTEM NO. W-L-1039, OR EQUAL
TYPE FC OR RFL-1/2"THK. COMPOUND
APPLIED W/IN OPENINGS, FINISHED FLUSH
W/ RATED SURFACE



ELECT. BOXES AT FIRE RATED WALL/CLG.
SCALE: N.T.S.

NOTE: RUTY PACK FOR USE WITH BOTH
METALLIC & NONMETALLIC OUTLET OR SWITCH
ELECT. BOXES INSTALLED IN GFI WALLBOARD
FRAMED ASSEMBLY.

ELECTRICAL NOTES :

- ALL MATERIAL, PRACTICES, STANDARDS AND WORKMANSHIP SHALL MEET THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE FIRE 2020, 7th EDITION, NEC-2014, NFPA-72, 2012 AND THE NFPA-2012.
- A DISCONNECT SWITCH IS REQUIRED WITHIN SITE OF ALL HVAC EQUIPMENT, AS PLAN INDICATED. NEC-440.11.14
- TAMPER RESISTANT RECEPTACLES AND GFI RECEPTACLES ARE REQUIRED THROUGHOUT FULL RESIDENCE. NEC-406.11
- A MINIMUM OF 75% PERCENT OF LIGHTING FIXTURES SHALL BE OF HIGH-EFFICIENCY LAMPS.

REVISIONS	BY

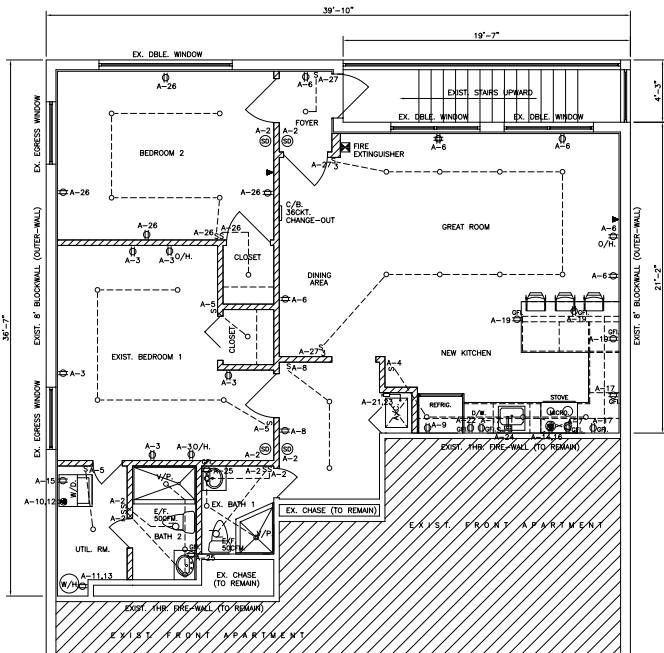
FOR: 233 - UNIT "C" EAST COMMERCIAL BLVD.
FOLIO: 4943-18-07-0420, LAUDERDALE BY THE SEA, FL. 33308

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CHARLES O. BUCKALEW, P.E.
Professional Engineer
State of Florida License No. 12548

DATE	OCT., 2022
SCALE	1/4"=1'-0"
BY	C.R.W.
JOB	OC-2297
SHT	E-1



2nd. FLOOR

ELECTRICAL AND LIGHTING - FLOOR PLAN

SCALE: 1/4"=1'-0"

- CONTRACTOR SHALL VERIFY WITH FIRM THE LOCATION OF SERVICE AND SHALL LOCATE METER AND PANELS AS REQUIRED.
- ALL WIRE SHALL BE THIN COPPER, UNLESS NOTED OTHERWISE.
- WHERE REQUIRED BY OTHER CODES, SERVICE AND FEEDER CONDUCTORS SHALL BE COPPER OF EQUAL AMPACITY.
- ALL BRANCH CIRCUITS IN RACEWAY OR NON-METALLIC SHEATHED CABLE.
- COORDINATE RACEWAY INSTALLATIONS WITH OTHER TRADES PRIOR TO CONSTRUCTION.
- VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MANUFACTURER SPECIFICATIONS.
- PROVIDE DISCONNECT SWITCH OF SIZE AS REQUIRED BY LOAD AND UNITS.
- PROVIDE NON-FUSIBLE GENERAL DUTY SAFETY SWITCHES AT A/C EQUIPMENT AND AT PUMPS NOT VISIBLE FROM CIRCUIT BREAKER PANEL AND AS PER MANUFACTURER RECOMMENDATIONS.
- PROVIDE GFI BREAKERS FOR ALL BATHROOMS, GARAGE EXTERIOR OUTLETS AS SHOWN ON PLANS.
- ELECTRICAL FIXTURES, TRIM AND APPLIANCES SHALL BE UL APPROVED AND AS SELECTED BY OWNER.
- PROVIDE PRE-WIRED TELEPHONE OUTLETS AS SHOWN ON ELECTRICAL PLAN. PROVIDE PRE-WIRED T.V. OUTLETS FOR CABLE AS SHOWN ON PLANS.
- DEDICATED CIRCUITS SHALL HAVE NO MORE THAN 6 DUPLEX RECEPTACLES.
- IN KITCHENS, DINING ROOMS AND BATHROOMS, RECEPTACLES FOR COUNTER SPACES SHALL BE GFI PROTECTED TAMPER-RESISTANT ACCORDING TO NEC 200-404.
- ALL CLOSET LIGHTING SHALL COMPLY WITH NEC SEC. 410.8.
- SMOKE DETECTORS SHALL BE CONNECTED TO KITCHEN OR BATH LIGHTING CIRCUITS AHEAD OF SWITCH AND HAVE SELF-CONTAINED BATTERY BACK-UP. DETECTORS SHALL BE TANDUM WIRED SO ALL DETECTORS SOUND SIMULTANEOUSLY.
- PREWIRE FOR GARAGE DOOR OPENER SENSOR. (NOTE AS APPLICABLE)
- ALL OUTLET BOXES FOR RECEPTALS, TV ANTENNAS, OR TELEPHONE JACKS, ETC. IN RATED WALLS MUST BE METAL OR U.L. RATED FOR USE IN ONE HOUR FIRE RATED CONSTRUCTION.
- ELECTRICAL CONTRACTOR TO CONFORM WITH BELL SOUTH REQUIREMENTS FOR TELEPHONE EQUIPMENT INSTALLATION.
- COORDINATE ALL CONDUIT RUNS AND EQUIPMENT INSTALLATION WITH OTHER TRADES TO AVOID CONFLICTS PRIOR TO FABRICATION, INSTALLATION, AND ERECTION.
- ELECTRICAL CONTRACTOR TO VERIFY ALL HVAC UNIT CONNECTIONS WITH HVAC CONTRACTOR PRIOR TO INSTALLATION. ALL A/C UNITS TO HAVE INTERNAL BREAKERS.
- ALL METERS, METER CENTERS AND DISCONNECTS TO BE APPROVED BY FIRM.
- MINIMUM WIRE SIZE SHALL BE #14 AND INSULATION FOR WIRE SIZE #14 AND SMALLER SHALL BE THIN #14 AND LARGER SHALL BE THIN #10 (ROMEX USED AS APPROVED).
- CIRCUIT LOCATION AND LOAD DATA ARE BASED UPON INFORMATION GIVEN TO THE ARCHITECT AT THE TIME OF DESIGN. CONTRACTOR SHALL VERIFY ALL EQUIPMENT AND PANEL SIZES AND SHALL PROVIDE CIRCUITS AND ROUTING OF CONDUITS TO SUIT JOB CONDITIONS.
- ALL 120V, 1 PHASE 15A AND 20A GARAGE AND EXTERIOR RECEPTACLES SHALL HAVE GROUND FAULT INTERRUPTER (GFI) PROTECTION.
- USE GFI CIRCUIT BREAKERS ON GFI RECEPTACLES.
- PROVIDE W.P. DISCONNECTS AT ALL A/C COMPRESSORS, SPRINKLER, POOL EQUIPMENT, AND WHIRLPOOL PUMPS.
- MAIN ELECTRICAL SERVICE TO BUILDING TO BE OVERHEAD (UNLESS NOTED OTHERWISE)

SYMBOL LEGEND :

- TRIPLE
CABLE
- TELE. (INTERNET) JACK OR CABLE (LOCATION AS INDICATED)
- 20A, 120V, DUPLEX RECEPTACLE, GROUNDING TYPE U.O.N. MOUNTED 18" A.F.F. OR AS FIELD DIRECTED
- SPECIAL PURPOSE RECEPTACLE (SEE PLAN)
- EXHAUST FAN (SEE PLAN FOR LOCATION)
- CEILING FAN/LIGHT FIXTURE (SEE PLAN, 100W. MAX.)
- CEILING LIGHT OR EXTERIOR FIXTURE, 100W. MAX.
- SMOKE DETECTOR (TANDUM WIRED W/ BATTERY BACK-UP)
- 120/277V, 20A, SINGLE POLE LIGHT SWITCH
- W.P. INDICATES WEATHER-PROOF FIXTURE
- V.P. INDICATES VAPOR-PROOF FIXTURE
- O.H. INDICATES OVERHEAD FIXTURE AND/OR RECEPT.

NOTES :

- ALL LIGHT SWITCHES ARE TO BE INSTALLED 48" A.F.F.
- ALL ELECT., TELEPHONE/DATA & CABLE OUTLETS TO BE INSTALLED 18" A.F.F., U.O.N.

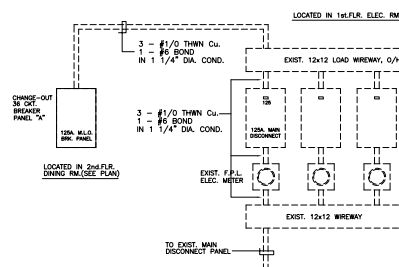
Equipment	Resem 3 Ton, 14.0 SEER
Condensing Unit Model #	RPH433A1TNA
A/P Handler Unit Model #	RHPH21J06SH2
Heat Stage	Rev
Fan Performance	1157 CFM @ .10 Static
Total Cap. - 45500	Sensible Cap. - 33500 Latent Cap. - 12000
AHU Size	High - 39.00 Wide - 24.50 Depth - 21.00
Electrical Data	Model # Phase / Volts
Condensing Unit	RPH433A1TNA 1-60-208/230 40 14.1 77.0
AHU / Heater	Rev 1-60-208/230 30

EXH. FAN (E.F.) = BROWN MODEL #68B, 50CFM.
EXHAUST FAN
CLIMATEPAC - 4.0 SONES.
VENT WITH 4" DUCT V.T.R.
(OR EQUAL)

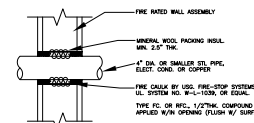
CIRCUIT BREAKER PANEL "A" (36 CKT. PANEL)						
125A-125/240V, 1PH, AC SYSTEM - 10000						
CKT.	SERVICE	WATTS	TRIP	POLES	MPE #	COND.
1	EXT. RECEPT. (W.P.)	540	20	1	12	ROMEX
2	A. ROOM (ACFP)	1080	20	1	12	
3	M. ROOM-UTL. RM. (ACFP)	360	20	1	12	
7	MIDWINTER (ACFP)	1080	20	1	12	
8	REFRIGERATOR (ACFP)	850	20	1	12	
11	HOT WATER HEATER	5000	30	2	10	
13						
15	WASHER (ACFP)	1000	20	1	12	
17	SMALL APPL. RECEPT. (GFI-ACFP)	1080	20	1	12	
18	SMALL APPL. RECEPT. (GFI-ACFP)	1080	20	1	12	
21	AUXILI. (SLMT. STRIPS)	5000	30	2	10	
23						ROMEX
25	BATH RECEPT. (GFI-ACFP)	360	20	1	12	ROMEX
27	ENTRY-LIVING RM. LIGHTS (ACFP)	600	15	1	14	
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* NON-CONCURRENT

OPTIONAL CALC'S.:		TOTAL WATTS PER PANEL = 41,080
TOTAL WATTS LESS A/C	=	36,080
1ST 10,000 @ 100%	=	10,000
BAL. 26,080 @ 40%	=	10,432
A/C	=	5,000
		26,432 / 240 = 109.95 AMPS

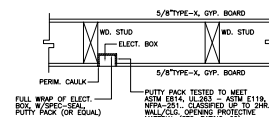


EXIST. 125A, ELECTRIC SERVICE RISER
N.T.S.



PENETRATIONS AT FIRE RATED WALL/CLG.
SCALE: N.T.S. U.L. SYSTEM NO. W-L-1039

PENETRATIONS AT FIRE-RATED WALLS/CLG.:
FIRE CAULK BY USC, FIRE-STOP SYSTEMS U.L. SYSTEM NO. W-L-1039, OR EQUAL TYPE FC OR RFL-1/2"THK. COMPOUND APPLIED W/IN OPENINGS, FINISHED FLUSH W/ RATED SURFACE.



ELECT. BOXES AT FIRE RATED WALL/CLG.
SCALE: N.T.S.

NOTE: RUTY PACK FOR USE WITH BOTH METAL & NONMETAL OUTLET OR SWITCH ELECT. BOXES INSTALLED IN GFI WALLBOARD FRAMED ASSEMBLY.

ELECTRICAL NOTES :

- ALL MATERIAL, PRACTICES, STANDARDS AND WORKMANSHIP SHALL MEET THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE FIRE 2020, 7th EDITION, NEC-2014, NFPA-72, 2012 AND THE NFPA-2012.
- A DISCONNECT SWITCH IS REQUIRED WITHIN SITE OF ALL HVAC EQUIPMENT, AS PLAN INDICATED. NEC-440.11.14
- TAMPER RESISTANT RECEPTABLES AND GFI RECEPTABLES ARE REQUIRED THROUGHOUT FULL RESIDENCE. NEC-406.11
- A MINIMUM OF 75% PERCENT OF LIGHTING FIXTURES SHALL BE OF HIGH-EFFICIENCY LAMPS.

REVISIONS	BY

FOR: 233 - UNIT "C" EAST COMMERCIAL BLVD.
FOLIO: 4943-18-07-0420, LAUDERDALE BY THE SEA, FL. 33308

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Tele.: (954) 558-1189 Fax.: (954) 929-8988



CHARLES O. BUCKALEW, P.E.
Professional Engineer
State of Florida License No. 12548

DATE	OCT., 2022
SCALE	1/4"=1'-0"
BY	C.R.W.
JOB	OC-2297
SHT	E-1

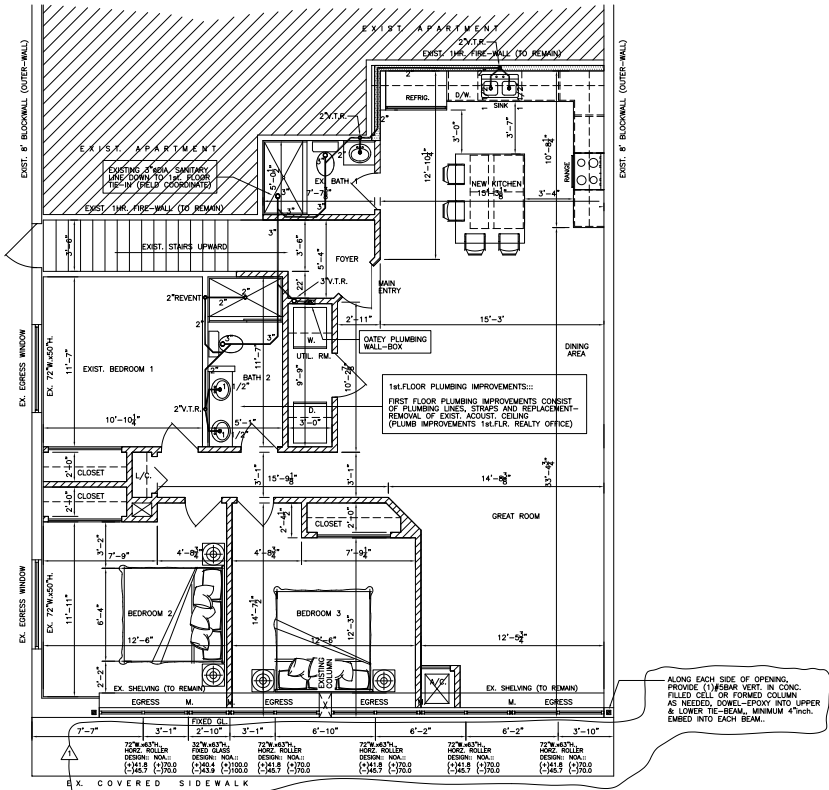
REVISIONS	BY
09-08-22, REV. PER ZONING REVIEW	CM

FOR::: 233 EAST COMMERCIAL BLVD. - AIRB-B

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PROJECT NO. 2019-001
DATE: DEC., 2019
SCALE: 1/4"=1'-0"
BY: C.R.W.
JOB DE-1997
SHT P-1



2nd. FLOOR
PLUMBING - FLOOR PLAN

SCALE: 1/4"=1'-0"

GENERAL NOTES :

1. ALL GLAZING IN TUB & SHOWER ENCLOSURES 8/16\"/>
2. ALL PLUMBING FIXTURES SHALL COMPLY WITH F.P.C. TABLE 604.4, MAX. FLOW RATES & CONSUMPTION.
3. ALL TUB/SHOWER VALVES SHALL COMPLY WITH F.P.C. SECTION 424 (ANTI-SCALD AS REQ'D.)
4. WATER HAMMER ARRESTORS SHALL BE INSTALLED AT ALL AUTOMATIC VALVES (KITCHEN & LAUNDRY)

PLUMBING FIXTURE CONNECTION SCHEDULE

MARK	DESCRIPTION	WATER			REMARKS
		DRAIN	COLD	HOT	
LABELLED	WATER CLOSET-TANK	4"	1/2"	N/A	
* +	LAUNDRY-COUNTERTOP	1-1/2"	1/2"	1/2"	
* +	BATH TUB	1-1/2(1/2")	1/2"	1/2"	SEE NOTE 4
* +	KITCHEN SINK	1-1/2"	1/2"	1/2"	NO SINK DISPOSAL
* +	DISHWASHER	1"	N/A	1/2"	SEE NOTE 1
* +	CLOTHES WASHER	2"	1/2"	1/2"	SEE NOTE 2
* +	REFRIGERATOR	N/A	N/A	N/A	
* +	SHOWER	2"	1/2"	1/2"	SEE NOTE 4

PLUMB. FIXTURE NOTES :

1. CONNECT DRAIN TO KITCHEN SINK TRAP-SIDE WITH FLEXIBLE TUBING.
2. DRAIN & HOSE BIBBS (2) INSTALLED IN RECESSED WALL SERV. BOX.
3. PROVIDE VACUUM BREAKER.
4. PROVIDE ANTI-SCALD VALVE.
5. 2" UNDER SLAB

FIXTURE NOTE :::

MAXIMUM FLOW RATES & CONSUMPTION FOR FIXTURES, FITTINGS AND APPLIANCES SHALL BE PER FPC TABLE 604.4 / FPC603.2

GENERAL PLUMBING NOTES :

1. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE INSTALLATION OF A COMPLETE PLUMBING SYSTEM IN ACCORDANCE WITH THESE DRAWINGS, THE APPLICABLE EDITION OF THE FLORIDA BUILDING CODE, ALL OTHER APPLICABLE STATE, COUNTY AND LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL PAY ALL COSTS OF PERMIT, INSPECTIONS AND ALL OTHER COSTS INCIDENTAL TO THE COMPLETION AND TESTING OF THIS WORK UPON FINAL ACCEPTANCE. A CERTIFICATE FROM THE LOCAL INSPECTION AUTHORITY SHALL BE FURNISHED TO THE OWNER.
3. ALL MATERIALS AND EQUIPMENTS SHALL BE NEW OF U.S. MANUFACTURE AND OF GOOD QUALITY OF RESPECTIVE KIND AND GRADE, AND MUST BE FURNISHED SO AS TO PREVENT ANY DELAY IN THE PROGRESS OF THE WORK. ALL WORK THROUGH SHALL BE PERFORMED IN A WORKMANLIKE MANNER BY SUFFICIENT NUMBER OF SKILLED WORKMEN.
4. CONTRACTOR SHALL VISIT THE SITE AND REVIEW ALL PERTINENT UTILITY DRAWINGS TO FAMILIARIZE HIMSELF WITH THE LOCATION OF ALL EXISTING AND/OR PROPOSED UTILITY STUB OUTS, PIPING, EQUIPMENT, ETC., AND MAKE DUE ALLOWANCES FOR ANY CONDITION EXPECTING HIS WORK.
5. ALL UNDERGROUND SANITARY & STORM DRAINAGE PIPING AND FITTINGS SHALL BE PVC-DWV (ASTM D-2665/D-3034).
6. ALL ABOVE GROUND SANITARY & STORM DRAINAGE BRANCH & VENT PIPES AND FITTINGS SHALL BE PVC-DWV (ASTM D-2665/D-3034).
7. ALL UNDERGROUND WATER SERV. PIPING SHALL BE PVC (ASTM D-2672) PER FPC TABLE 605.3. ALL ABOVE GROUND PIPING SHALL BE COPPER (ASTM B-302) OR CPVC (ASTM D-2846) PER TABLE 605.4.
8. ALL HOT WATER PRESSURE AND TEMPERATURE RELIEF PIPING SHALL BE COPPER PIPING (ASTM B-302) WITHIN 5'-0" TO AND FROM HOT WATER HEATER.
9. ALL AIR CONDITIONING CONDENSATE DRAINAGE PIPING SHALL BE SCH. 40 PVC (ASTM D-2665), EXCEPT WHEN INSTALLED IN RETURN AIR PLENUM WHERE COPPER TYPE "DWV" OR EQUIVALENT MUST BE USED.
10. ALL PLUMBING FIXTURES SHALL BE PROVIDED WITH ALL NECESSARY ACCESSORIES SUCH AS STOP VALVES, "P" TRAPS, SUPPORTS, P & T VALVES, ETC., AS REQUIRED. ALL EXPOSED PIPING AT FIXTURES AND EQUIPMENT SHALL BE CHROME PLATED BRASS PIPE OR TUBE. PROVIDE SHUT OFF VALVES AND UNIONS TO ALL FIXTURES, ETC. REQUIRING WATER SERVICE DISCONNECTING PIPING AS REQUIRED. FOR ALL COPPER PIPING CONTRACTOR MUST USE LEAD FREE SOLDER. PROVIDE AIR CHAMBERS TO EACH FIXTURE AS REQUIRED.
11. PROVIDE CLEAN OUTS (WITH ESCUTCHEONS AS REQUIRED) AT THE BASE OF ALL WASTE AND/OR VENT STACKS. PROVIDE PITCH PANS & LEADS FLASHING FOR ALL SANITARY SYSTEM VENTS.
12. ALL DRAINING PIPES 2"9 OR SMALLER TO BE SLOPED 1/4" PER FOOT.
13. ALL DRAINING PIPES 3"9 OR BIGGER TO BE SLOPED 1/8" PER FOOT.
14. PLUMBING CONTRACTOR MUST VERIFY LOCATION OF PIPE LINES IN RELATION TO FOOTINGS AT FOUNDATION PLAN. IF THERE IS ANY CONFLICT MUST NOTIFY THE ARCHITECT OR ENGINEER PRIOR COMMENCING WORK.
15. PLUMBING CONTRACTOR TO PROVIDE AIR CHAMBERS TO ALL PLUMB'G FIXTURES
16. ALL FIRE RATED FLOOR & WALL PENETRATIONS SHALL BE PROPERLY PROTECTED FROM FIRE, SMOKE & WATER PENETRATION, BY FILLING VOIDS BETWEEN PIPE & WALL/FLOOR SLEEVES W/ FIRE-RATED FOAM, TO ACHIEVE THE SAME RATING AS WALLS OR FLOORS AS PART OF ANY PLUMBERS WORK.
17. STUDOR MINI-MAX AIR ADMITTANCE VALVES/VENTS MAY BE USED AS AN ALTERNATE TO VENT PIPING THRU ROOF, INWHEE ACCEPTABLE BY PLUMBING OFFICIAL AND AS LOCAL CODES DICTATE. INSTALL AS PER MANUF.'S SPECIFICATIONS.